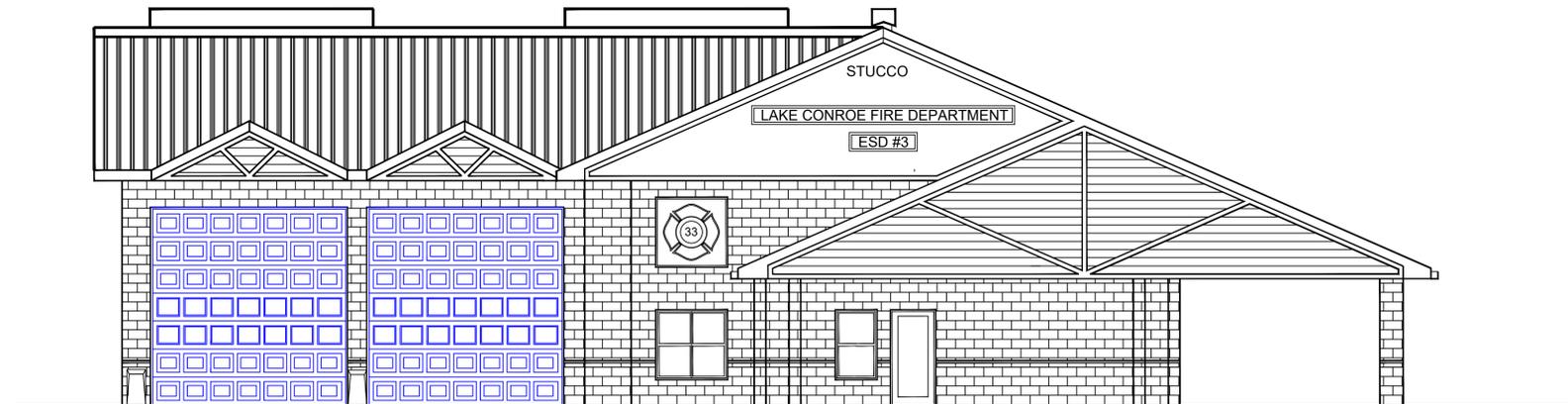


# LAKE CONROE FIRE DEPARTMENT STATION # 33



FRONT ELEVATION

MONTGOMERY COUNTY  
Emergency Services District #3

PROPOSED PROJECT  
ON  
HONEA EGYPT

**LEGAL DESCRIPTION**

*Lots 3, 4 and Lot 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

**AREA OF CONCRETE**

UNDER ROOF----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

**OWNER**

MONTGOMERY COUNTY  
Emergency Services District #3  
15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

Project Design  
Project Engineering  
Project Management

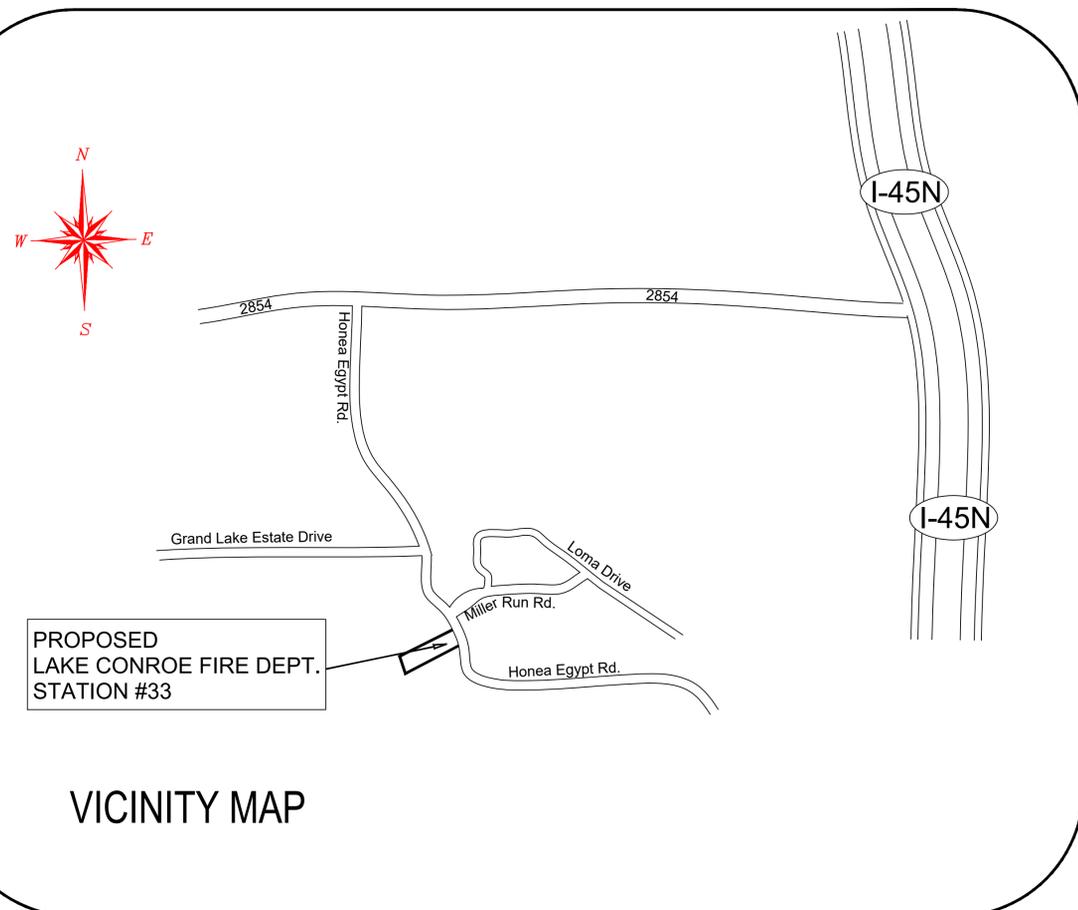
AscenTrust, LLC.  
16920 Kuykendahl  
SUITE 200  
Houston, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-447-1044

Cover Sheet

No Scale



VICINITY MAP

**SHEET INDEX**

- |  |                                      |
|--|--------------------------------------|
| 1. Cover Sheet (Index)                   | 17. Foundation Plan                  |
| 2. Front Elevation                       | 18. Foundation Details (1)           |
| 3. Site Layout (HEC-RAS Analysis Layout) | 19. Foundation Details (2)           |
| 4. Site Plan (20 Scale/ Measurements)    | 20. Foundation (Plumbing/Electrical) |
| 5. Storm Water (SWPPP)                   | 21. Floor Plan                       |
| 6. SWPPP Details                         | 22. Door/Window Schedules            |
| 7. Septic System                         | 23. Ceiling Grid Layout              |
| 8. Septic Construction Specs/Details     | 24. Division 15; Plumbing Specs      |
| 9. Drainage Areas/ Calcs                 | 25. Electrical Plan- E1              |
| 10. Drainage/Grading Plan                | 26. Electrical Details/Specs- E2     |
| 11. Construction Specs/Details           | 27. Electrical Details/Specs - E3    |
| 12. Cut and Fill (Cross-Section)         | 28. Mechanical Layout- M1            |
| 13. Driveway/Culvert                     | 29. Mechanical Details/Specs- M2     |
| 14. Underground                          | 30. Roof Layout                      |
| 15. Underground Notes/Details            | 31. Construction Specifications-1    |
| 16. Concrete Paving                      | 32. Construction Specifications-2    |
|  | 33. Construction Specifications-3    |
|  | 34. Interior Elevations-1            |
|  | 35. Interior Elevations-2            |
|  | 36. Cabinets/Doors/Hardware Specs    |
|  | 37. Building Elevations (1)          |
|  | 38. Building Elevations (2)          |

FRONT ELEVATION  
MONTGOMERY COUNTY  
EMERGENCY SERVICES DISTRICT #3  
STATION #33



**MONTGOMERY COUNTY  
Emergency Services District #3**

**PROPOSED PROJECT  
ON  
HONEA EGYPT**

LEGAL DESCRIPTION

Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

**ADDRESS**

**4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**FRONT ELEVATION  
FOR  
LAKE CONROE FIRE DEPT.  
STATION #33**

**OWNER**

**MONTGOMERY COUNTY  
Emergency Services District #3**

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

AscenTrust, LLC.  
16920 Kuykendahl  
SUITE 200  
Houston, Texas 77068  
PH. 936-827-9944

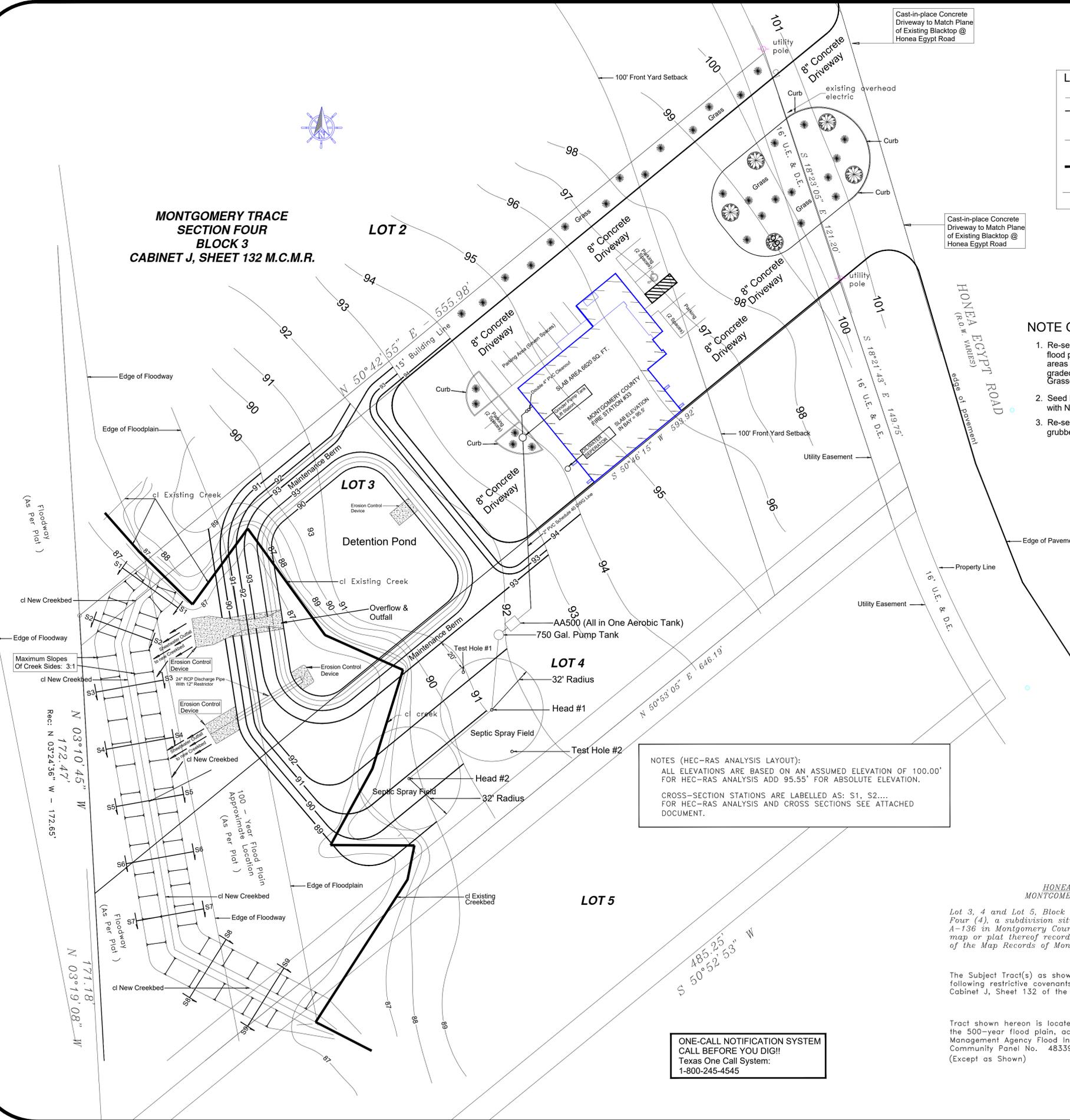
**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**SHEET 2**

No Scale

**MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.**



**LEGEND**

- EXISTING CONTOUR
- NEW CONTOURS (ROUGH GRADE)
- CENTERLINE OF RE-ROUTED CREEK
- CENTERLINE OF EXISTING CREEK
- EASEMENTS AND SETBACKS

- NOTE ON LANDSCAPING**
1. Re-seed areas of new Creek bed, grubbed areas in floodway and flood plain, areas of existing Creek bed which has been filled, all areas of detention pond and rim of detention pond cleared, grubbed, graded and Detention System has been completed, with Native Grasses.
  2. Seed Landscaped areas shown on the Site Layout (Sheet 3) with Native Grasses.
  3. Re-seed area of spray filed in Native Grasses after site is cleared, grubbed, graded and Septic System has been Installed.

- NOTES ON PARKING**
1. Provide one Handicapped Parking Space in Front, and next to Entrance of Fire Station
  2. Provide a Total of 13 Parking spaces as shown on the Plot Plan.

**NOTES (HEC-RAS ANALYSIS LAYOUT):**  
 ALL ELEVATIONS ARE BASED ON AN ASSUMED ELEVATION OF 100.00'  
 FOR HEC-RAS ANALYSIS ADD 95.55' FOR ABSOLUTE ELEVATION.  
 CROSS-SECTION STATIONS ARE LABELLED AS: S1, S2,....  
 FOR HEC-RAS ANALYSIS AND CROSS SECTIONS SEE ATTACHED DOCUMENT.

**ONE-CALL NOTIFICATION SYSTEM  
 CALL BEFORE YOU DIG!!  
 Texas One Call System:  
 1-800-245-4545**

*HONEA EGYPT ROAD  
 MONTGOMERY, TEXAS 77356*

*Lot 3, 4 and Lot 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

The Subject Tract(s) as shown hereon is subject to the following restrictive covenants of record: Cabinet J, Sheet 132 of the Montgomery County Map Records

Tract shown hereon is located in ZONE X, areas outside the 500-year flood plain, according to Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 48339C 0365 F effective 12/19/96. (Except as Shown)

**MONTGOMERY COUNTY  
 FIRE DEPARTMENT  
 PROPOSED PROJECT  
 ON  
 HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lots 3, 4 and 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

**4731 HONEA EGYPT  
 MONTGOMERY, TEXAS  
 77356**

**SITE LAYOUT  
 FOR  
 MOUNTGOMERY COUNTY  
 FIRE STATION #33**

**AREA OF CONCRETE**

**LIVING----- 6620 Sq. Ft.  
 DRIVE/PARKING--31,927 Sq. Ft.  
 TOTAL AREA-----38,547 Sq. Ft.**

**Project Design  
 Project Engineering  
 Project Management**

AscenTrust, LLC.  
 16920 Kuykendahl  
 SUITE 200  
 Houston, TX. 77068  
 PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
 B.Sc.E.E., M.Sc.E.E.  
 PH. 936-827-9944

**Plans Reviewed by:**

Jeff Long P.E.  
 15 Brimstone Court  
 Woodlands, Texas

**SHEET 3**

**SCALE 1" = 30'**

MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lots 3, 4 and 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

PLOT PLAN  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

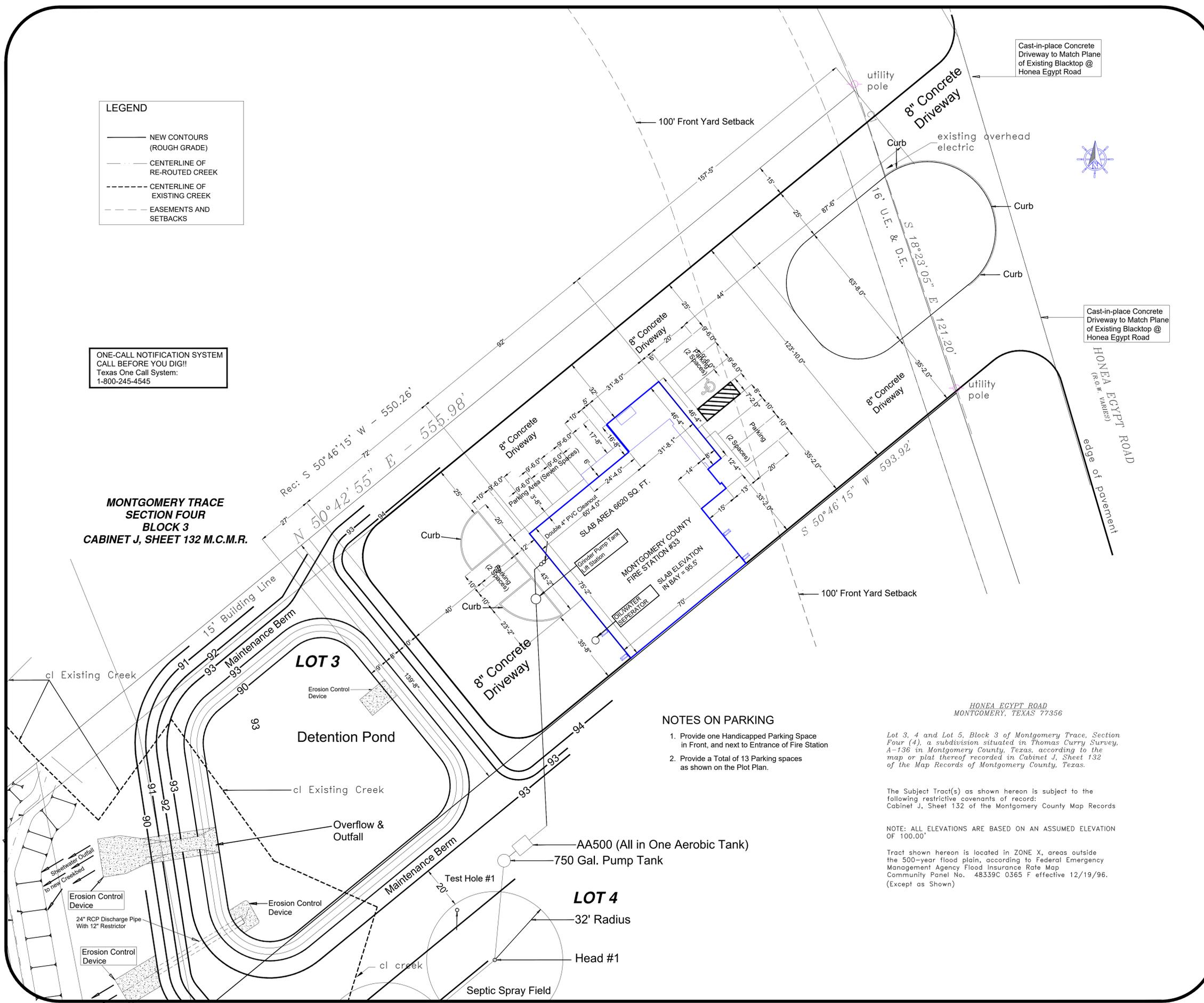
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

SHEET 4

SCALE 1" = 20'



**LEGEND**

- NEW CONTOURS (ROUGH GRADE)
- - - CENTERLINE OF RE-ROUTED CREEK
- - - CENTERLINE OF EXISTING CREEK
- - - EASEMENTS AND SETBACKS

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!  
Texas One Call System:  
1-800-245-4545

MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.

- NOTES ON PARKING**
1. Provide one Handicapped Parking Space in Front, and next to Entrance of Fire Station
  2. Provide a Total of 13 Parking spaces as shown on the Plot Plan.

Lot 3, 4 and Lot 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

The Subject Tract(s) as shown hereon is subject to the following restrictive covenants of record: Cabinet J, Sheet 132 of the Montgomery County Map Records

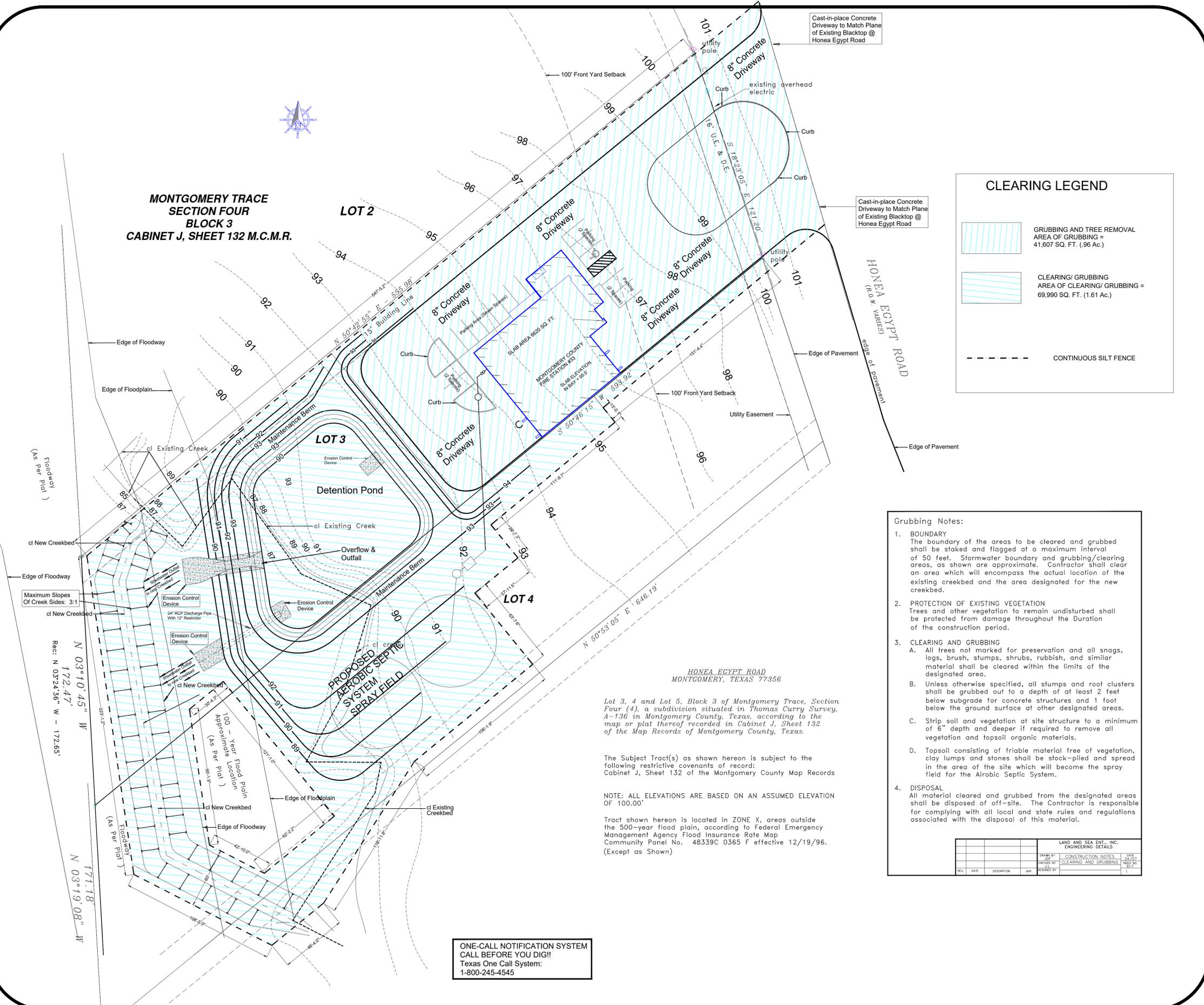
NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED ELEVATION OF 100.00'

Tract shown hereon is located in ZONE X, areas outside the 500-year flood plain, according to Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 48339C 0365 F effective 12/19/96. (Except as Shown)

**LOT 4**

- AA500 (All in One Aerobic Tank)
- 750 Gal. Pump Tank
- Test Hole #1
- 32' Radius
- Head #1
- Septic Spray Field

**MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.**



**CLEARING LEGEND**

- GRUBBING AND TREE REMOVAL AREA OF GRUBBING = 41,607 SQ. FT. (.96 Ac.)
- CLEARING/ GRUBBING AREA OF CLEARING/ GRUBBING = 69,990 SQ. FT. (1.61 Ac.)
- CONTINUOUS SILT FENCE

**Grubbing Notes:**

- BOUNDARY**  
The boundary of the areas to be cleared and grubbed shall be staked and flagged at a maximum interval of 50 feet. Stormwater boundary and grubbing/clearing areas, as shown are approximate. Contractor shall clear an area which will encompass the actual location of the existing creekbed and the area designated for the new creekbed.
- PROTECTION OF EXISTING VEGETATION**  
Trees and other vegetation to remain undisturbed shall be protected from damage throughout the Duration of the construction period.
- CLEARING AND GRUBBING**
  - All trees not marked for preservation and all snags, logs, brush, stumps, shrubs, rubbish, and similar material shall be cleared within the limits of the designated area.
  - Unless otherwise specified, all stumps and root clusters shall be grubbed out to a depth of at least 2 feet below subgrade for concrete structures and 1 foot below the ground surface at other designated areas.
  - Strip soil and vegetation at site structure to a minimum of 6" depth and deeper if required to remove all vegetation and topsoil organic materials.
  - Topsoil consisting of friable material free of vegetation, clay lumps and stones shall be stock-piled and spread in the area of the site which will become the spray field for the Aerobic Septic System.
- DISPOSAL**  
All material cleared and grubbed from the designated areas shall be disposed of off-site. The Contractor is responsible for complying with all local and state rules and regulations associated with the disposal of this material.

LAND AND SEA ENT., INC. ENGINEERING DETAILS	
DATE	DESCRIPTION
REV. 1	24/07
REV. 2	24/07
REV. 3	24/07
REV. 4	24/07
REV. 5	24/07
REV. 6	24/07
REV. 7	24/07
REV. 8	24/07
REV. 9	24/07
REV. 10	24/07

**HONEA EGYPT ROAD  
MONTGOMERY, TEXAS 77356**

Lot 3, 4 and Lot 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

The Subject Tract(s) as shown herein is subject to the following restrictive covenants of record:  
Cabinet J, Sheet 132 of the Montgomery County Map Records

NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED ELEVATION OF 100.00'

Tract shown herein is located in ZONE X, areas outside the 500-year flood plain, according to Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 48339C 0365 F effective 12/19/96. (Except as Shown)

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Texas One Call System:  
1-800-245-4545**

**MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lots 3, 4 and 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

**4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**Clearing/Grubbing/SWPPP  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33**

**AREA OF CONCRETE**

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

**Project Design  
Project Engineering  
Project Management**

**ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944**

**Plans Drawn by:**

**Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944**

**Plans Reviewed by:**

**Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas**

**SHEET 5**

**SCALE 1" = 30'**

MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lot 3, Lot 4, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

SWPPP DETAILS  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

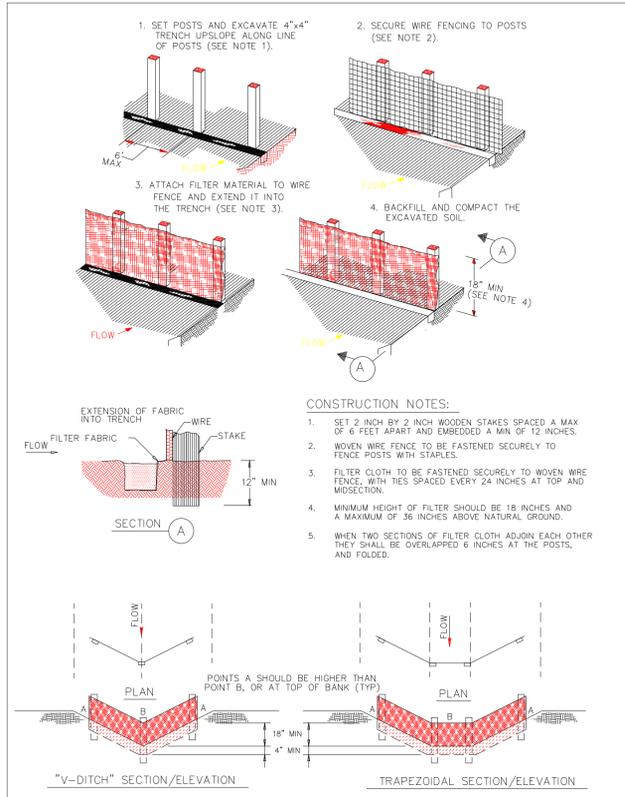
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

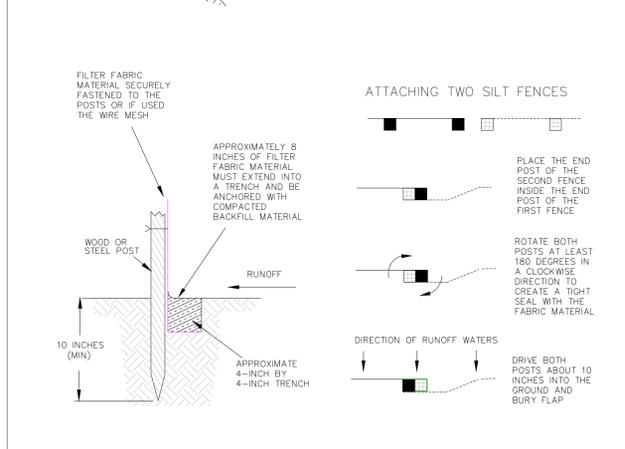
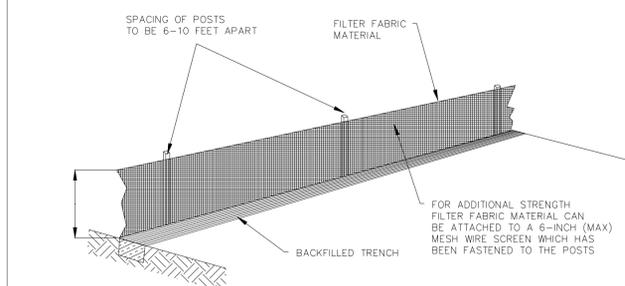
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

SHEET 6

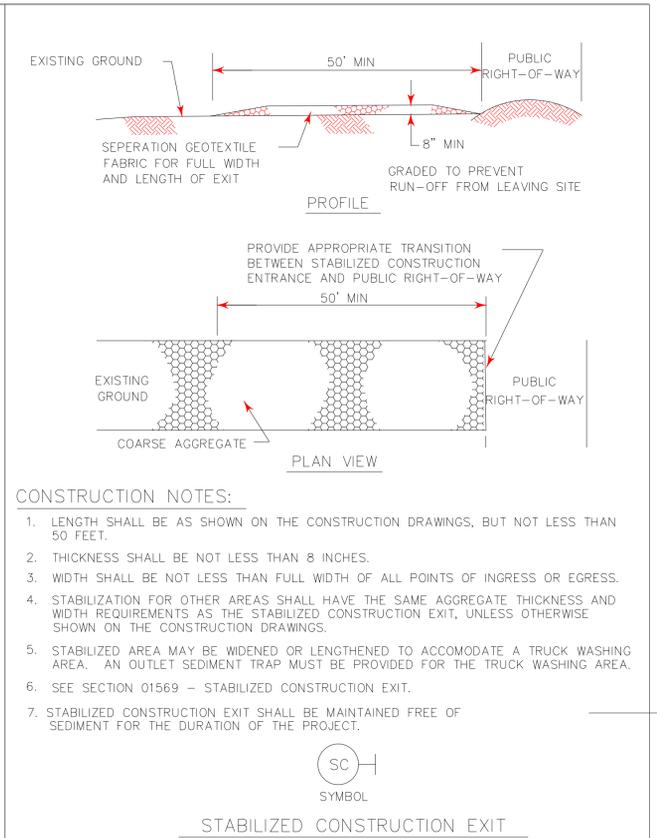
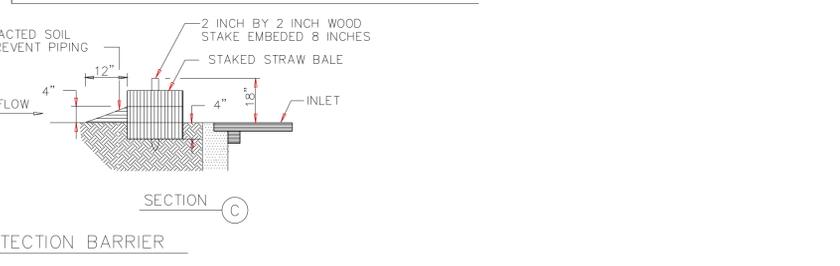
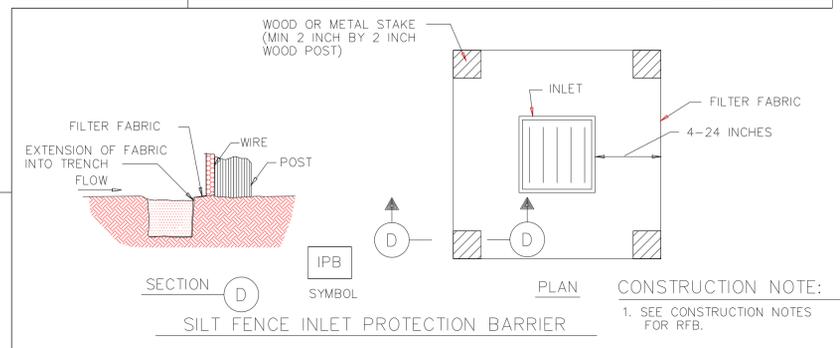
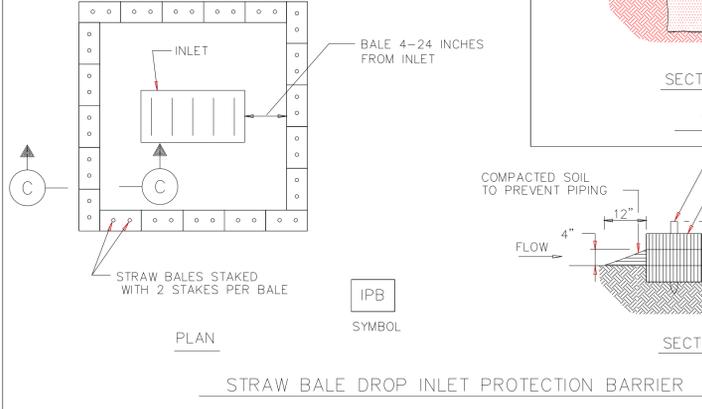
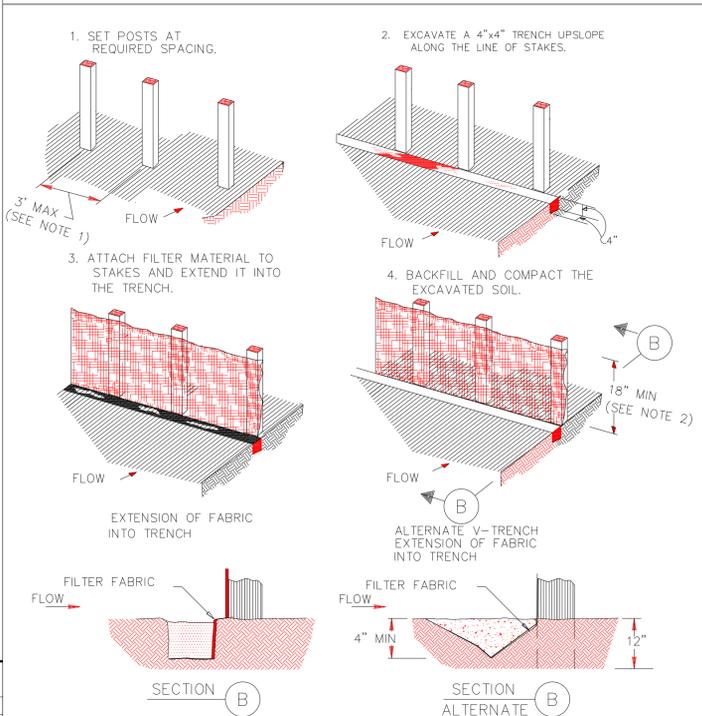
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REV				DESCRIPTION				DATE			



REV				DESCRIPTION				DATE			



MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.



LOT 2

N 50°42'55" E - 555.98'  
15' Building Line

LOT 3

Detention Pond

LOT 4

32' Radius

Head #1  
8-10 G.P.M. CAPACITY  
Use Rainbird or equal

Head #1  
8-10 G.P.M. CAPACITY  
Use Rainbird or equal

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!  
Texas One Call System:  
1-800-245-4545

8" Concrete Driveway

8" Concrete Driveway

8" Concrete Driveway

8" Concrete Driveway

SLAB AREA 6620 SQ. FT.

4" PVC Cleanout

2" PVC Schedule 40 DWIG Line

4" PVC Cleanout

2" PVC Schedule 40 DWIG Line

4" PVC Cleanout

2" PVC Schedule 40 DWIG Line

4" PVC Cleanout

2" PVC Schedule 40 DWIG Line

4" PVC Cleanout

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4" PVC Cleanout

2" PVC Schedule 40 DWIG Line

MONTGOMERY COUNTY  
FIRE STATION #33  
SLAB ELEVATION  
IN BAY = 95.5'

UTILITY REPEATER

UTILITY REPEATER

UTILITY REPEATER

UTILITY REPEATER

UTILITY REPEATER

UTILITY REPEATER

UTILITY REPEATER

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UTILITY REPEATER

UTILITY REPEATER

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

Test Hole #1

Test Hole #2

Test Hole #3

Test Hole #4

Test Hole #5

Test Hole #6

Test Hole #7

Test Hole #8

Test Hole #9

Test Hole #10

Test Hole #11

Test Hole #12

Test Hole #13

Test Hole #14

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

Test Hole #1

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750 Gal. Pump Tank  
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AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

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Test Hole #14

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

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Test Hole #3

Test Hole #4

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Test Hole #9

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Test Hole #13

Test Hole #14

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

Test Hole #1

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Test Hole #8

Test Hole #9

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Test Hole #14

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

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Test Hole #3

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Test Hole #5

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Test Hole #7

Test Hole #8

Test Hole #9

Test Hole #10

Test Hole #11

Test Hole #12

Test Hole #13

Test Hole #14

AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

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Test Hole #2

Test Hole #3

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AA500 (All in One Aerobic Tank)

750 Gal. Pump Tank  
Min. 20 G.P.M. Capacity

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Test Hole #8

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Test Hole #10

Test Hole #11

Test Hole #12

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Test Hole #14

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750 Gal. Pump Tank  
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Test Hole #3

Test Hole #4

Test Hole #5

Test Hole #6

Test Hole #7

Test Hole #8

Test Hole #9

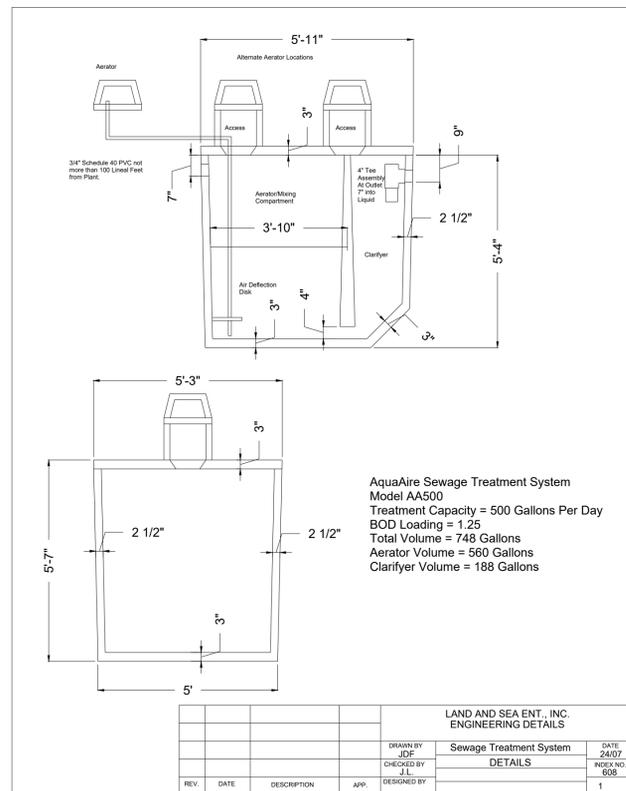
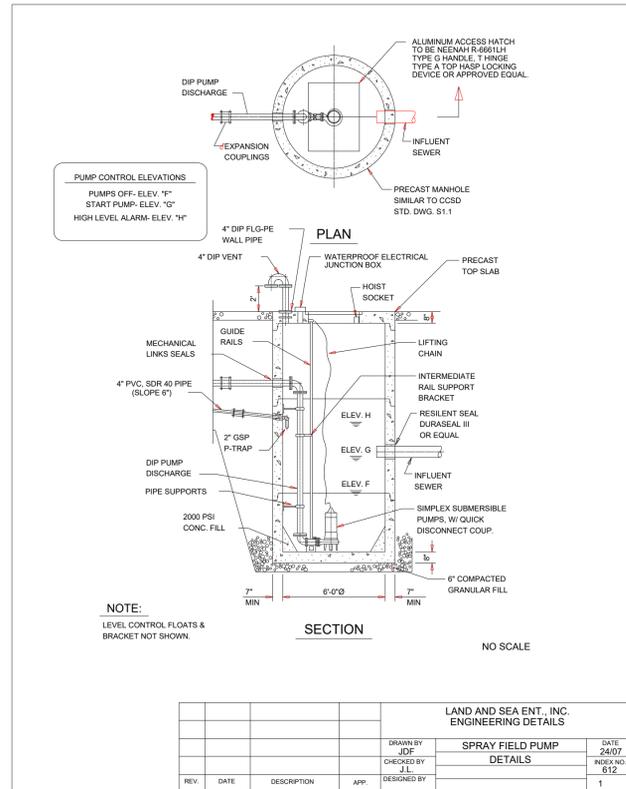
Test Hole #10

Test Hole #11

**General Notes**

Note: Equivalent materials and equipment may be substituted provided State and County regulations are met.

1. An On-site license must be obtained from the permitting authority prior to installing this Wastewater System.
2. System Installation must be by a Registered Installer of on-site Sewage Facilities as required by Article 4477-7E of Vernon's Civil Statutes or the Owner of the Property under license.
3. If any discrepancies exist between this design and actual field conditions. It is the installer's responsibility to immediately notify the designer and the permitting authority prior to start of any work.
4. All construction methods and materials must be in accordance with County and State Rules and policies unless specifically noted on the drawings and approved by the permitting authority.
5. Site shall be carefully finish graded to provide positive storm water runoff. Absorption area shall be crowned. Drainage swales shall be constructed to adequately convey stormwater away from the absorption area.
6. This system, if installed and operated in accordance with this plan should not present a hazard to Public Health or threaten proposed or adjacent water wells.
7. It is the installer's responsibility to ensure that safe distances from any water wells meet or exceed State and Local (Montgomery County) criteria, and are in accordance with the license issued.
8. It is the Installer's responsibility to review the Design Criteria which accompanies or is shown on this drawing. The criteria is an important part of the construction Documentation Package.
9. Electrical work shall be done in accordance to the National Electrical Code (2005 Edition) All electrical work shall be done under the supervision of a Master Electrician.
10. If the property is located in the 100 Year Flood Plain, all mechanical and electrical Components shall be elevated at least 1 ft. above the 100 Year Flood Elevation.
11. Storm and Site Drainage improvements shown on the drawings shall be completed prior to commencement of Construction of On-Site Sewage Facility.
12. Plumbing Stubouts shall be constructed as shallow as possible. Maximum depth below natural ground to flowline is 36 inches.
13. Condensate from air conditioning, ice machines, or other refrigeration equipment shall not be discharged into the On-Site Sewerage System unless system has been designed to accept such flow. Water Softener backwash shall not be introduced into the system.
14. Contractors shall notify Utility Co-ordination Committee, 1-800-669-8344 and/or Texas One-Call System 1-800-245-4545, 48 Hours in advance of construction for the purpose of locating underground lines. (Osha Rule 1926-651.
15. The Licensing Authority shall be notified for inspection prior to covering of any System Components.
16. Any warranty on the products installed are those of the Manufacturer. The Engineer and installer expressly disclaim all warranties., express or implicit, including implied warranty for fitness of a particular purpose. The Engineer and Installer neither assumes or authorizes any other person to assume for it any Liability in Connection with the Design, Installation, Operation, and/or Inoperation of the Product. The License Holder assumes full responsibility for the performance of the System following final Inspection approval by the Licensing Authority.
17. All equipment associated with the Septic System shall be connected to that portion of the Electrical Supply System which is inter-connected, via a transfer switch, to the Emergency Back-up Generator.



**MONTGOMERY COUNTY  
Emergency Services District #3**

**PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

**ADDRESS**

**4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**Construction Notes  
Construction Details  
For Aiobic Septic System**

**FOR FIRE STATION #33  
ON HONEA EGYPT ROAD**

**OWNER**

**MONTGOMERY COUNTY  
Emergency Services District #3**

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

Jeff Long P.E.  
15 Brimstone Court  
The Woodlands, Texas

**SHEET 8**

**NO SCALE**

MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lots 3, 4 and 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

DRAINAGE AREAS  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

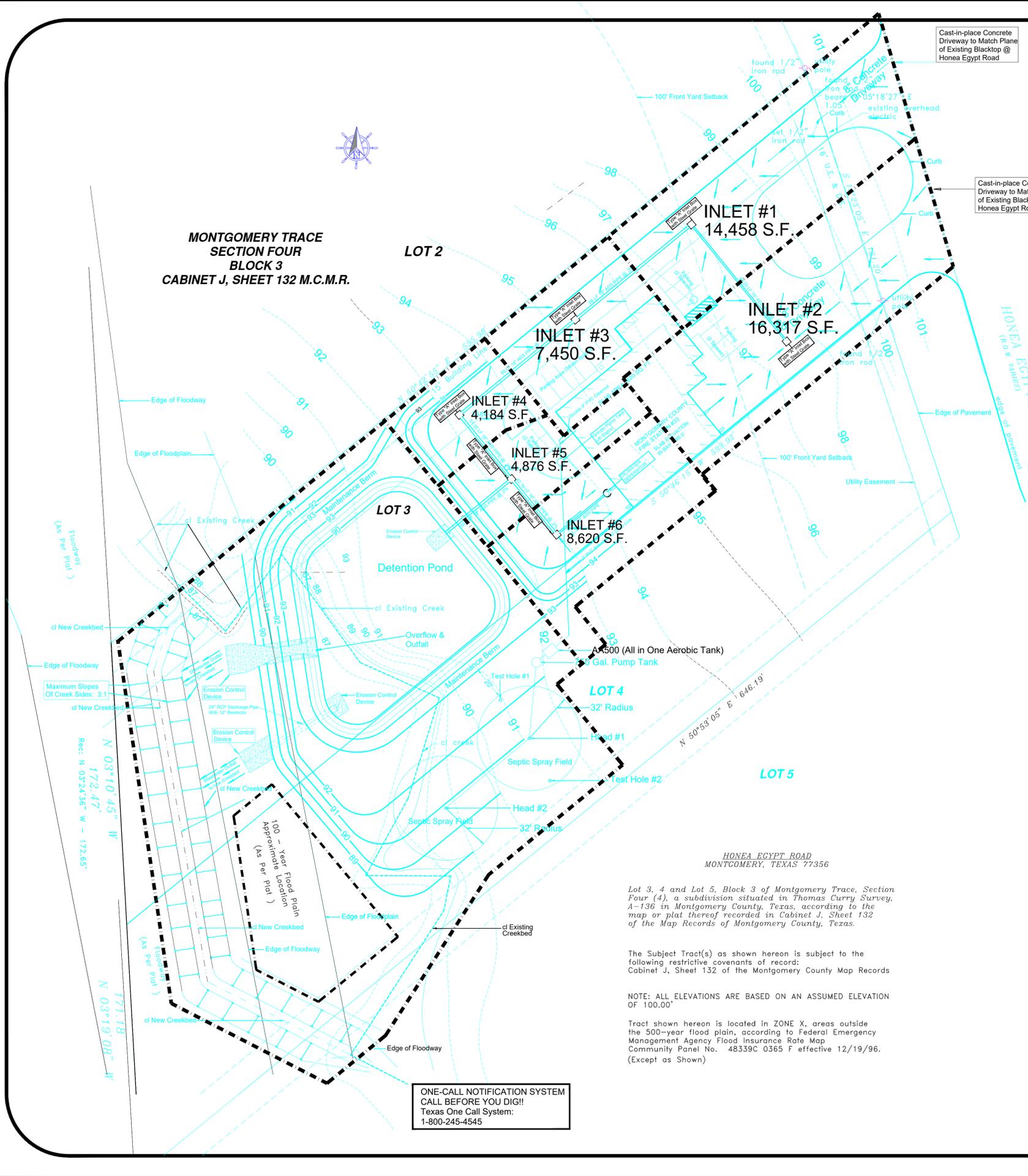
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

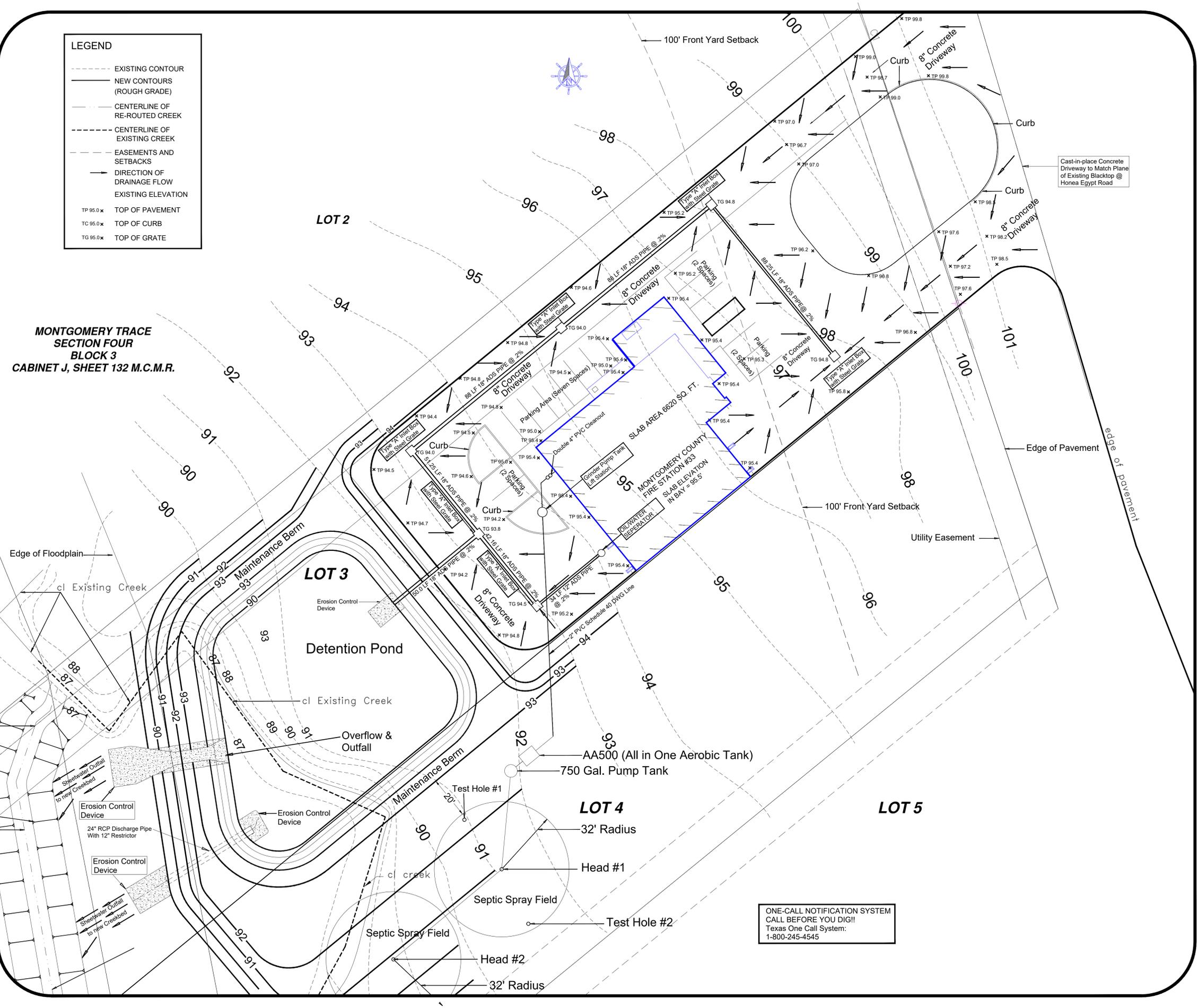
SHEET 9

SCALE 1" = 30'



**LEGEND**

- EXISTING CONTOUR
- NEW CONTOURS (ROUGH GRADE)
- - - CENTERLINE OF RE-ROUTED CREEK
- - - CENTERLINE OF EXISTING CREEK
- - - EASEMENTS AND SETBACKS
- DIRECTION OF DRAINAGE FLOW
- EXISTING ELEVATION
- TP 95.0 x TOP OF PAVEMENT
- TC 95.0 x TOP OF CURB
- TG 95.0 x TOP OF GRATE



**MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.**

**MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lot 3, 4, and Lot 5, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

**4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**DRAINAGE/GRADING  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33**

**AREA OF CONCRETE**  
LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

**SHEET 10**

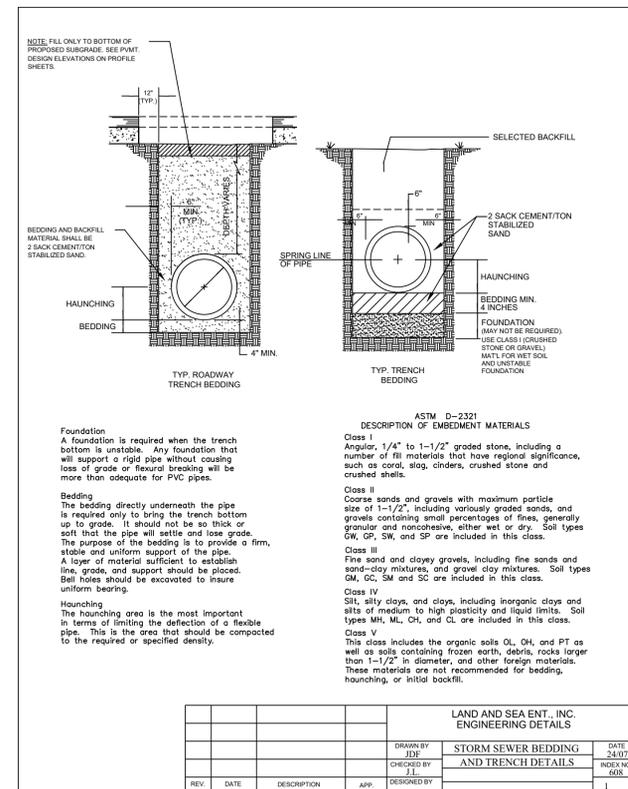
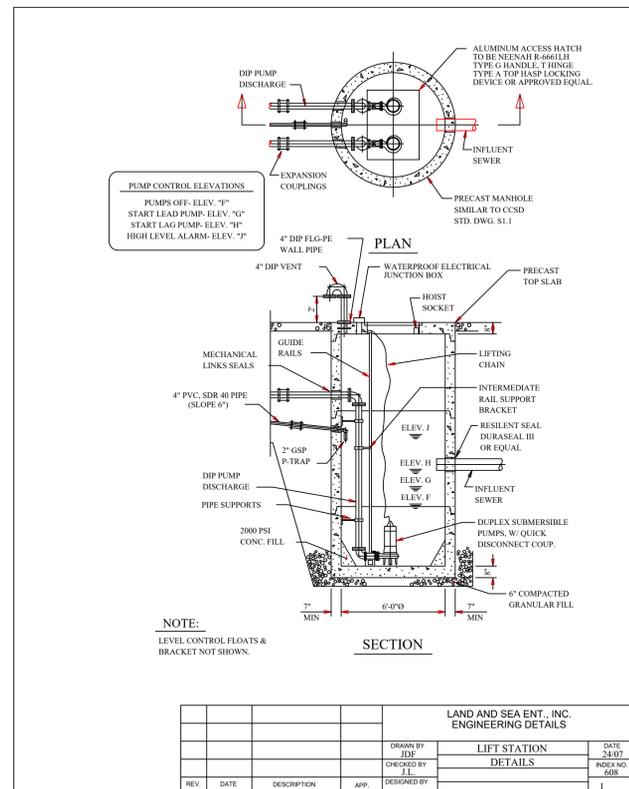
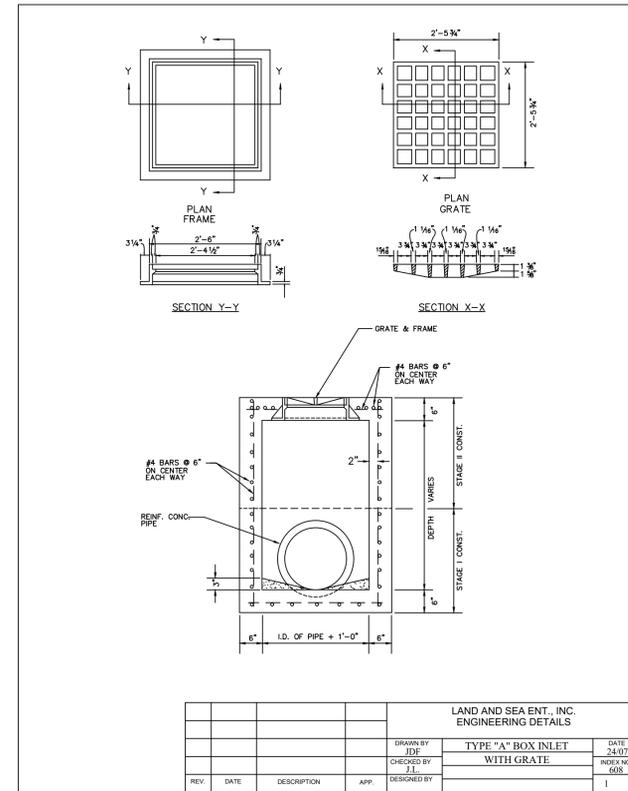
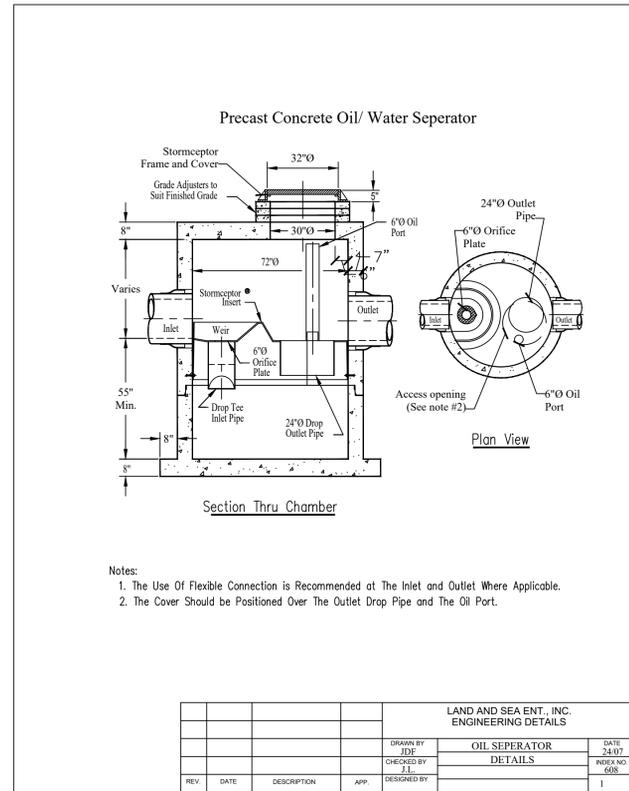
**SCALE 1" = 20'**

ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!  
Texas One Call System:  
1-800-245-4545

General Construction Notes

The following Notes are standard to the construction project and shall hold for the duration of the construction

- Materials, construction and testing to be in accordance with the City of Conroe Standard Drawings and Specifications.
- Owner's representative (Project Manager) to obtain all Development, Septic, SWPPP and Construction permits required by Montgomery County, Texas and the State of Texas at the expense of the Fire District prior to commencement of work.
- Contractor shall give notice to all authorized inspectors, superintendents or persons in charge of private and public utilities or railroads affected by his operations and the Montgomery County Department of Public Works and Engineering, (telephone: 936-760-4605) 48 hours prior to commencement of work in street right-of-way or easements.
- All existing underground utilities are not guaranteed to be completed or definite, but were obtained from the best information available. Contractor has sole responsibility for field verification of all existing facilities shown on drawings. Contractor shall co-ordinate all conflicts with the appropriate Governing agencies.
- The location of Consolidated, Reliant Energy (Entex), and Mid-South (Synergy) are shown in an approximate way only. The contractor shall ensure the exact location of these facilities by calling the utility companies, at least 48 hours commencing work. The contractor is fully responsible for any and all damages which occur due to his failure to request the location and preservation of these underground facilities. Any damage to existing facilities incurred as a result of construction operations will be repaired by the contractor as his own expense.
- Texas Law Article 1436c, prohibits all activities in which persons or equipemnt may come within 6 feet or energized overhead power lines, and federal regulation, Title 29, part 1910.130(1) and part 1926.440(a) (15) requires a minimum clearance of 10 feet from these facilities. The above laws carry both criminal and civil liabilities, with contractors and owners being legally responsible for the safety of workers under these laws. If you or your company must work near overhead power lines, call the power company for the lines to be de-energized and/or moved at your expense.
- Construction shall comply with the latest revisions of OSHA Regulations and State of Texas Law concerning trenching and shoring. Contractor shall provide a trench safety system to meet, as a minimum, the requirements of OSHA Safety and Health Regulation, Part 1926, Sub-part P as published in the Federal Register, Volume 54, No. 209, dated October 31, 1989, and the City of Conroe Ordinance Number 1033-87, and latest revisions.
- Details prepared by the Project Engineer do not extend to or include designs or systems pertaining to the safety of the Contractor or its employees, agents or representatives in the performance of the work. The construction Contractor shall prepare or obtain the appropriate safety systems, including the plans and specifications required by Chapter 756, Subchapter "C" of the Texas Health and safety code.
- Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to the satisfaction of the Project Manager. All construction storm runoff shall comply with Storm Water Management for Construction Activities.
- Existing pavement damaged or removed during construction shall be replaced to Montgomery County standards.
- Existing roads and/or right-of-ways disturbed during the construction shall be as good or better than the condition prior to starting the work, upon completion of the project.
- All trenches, including trenches for storm drains, electrical, water main, sewer main, sewer lateral, etc. under proposed building site or driveways shall be backfilled with cement stabilized sand as per specification to a point immediately below the subgrade.



**MONTGOMERY COUNTY  
Emergency Services District #3**

**PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

**ADDRESS  
4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**Construction Details  
FOR FIRE STATION #33  
ON HONEA EGYPT ROAD**

**OWNER  
MONTGOMERY COUNTY  
Emergency Services District #3**

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC..  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

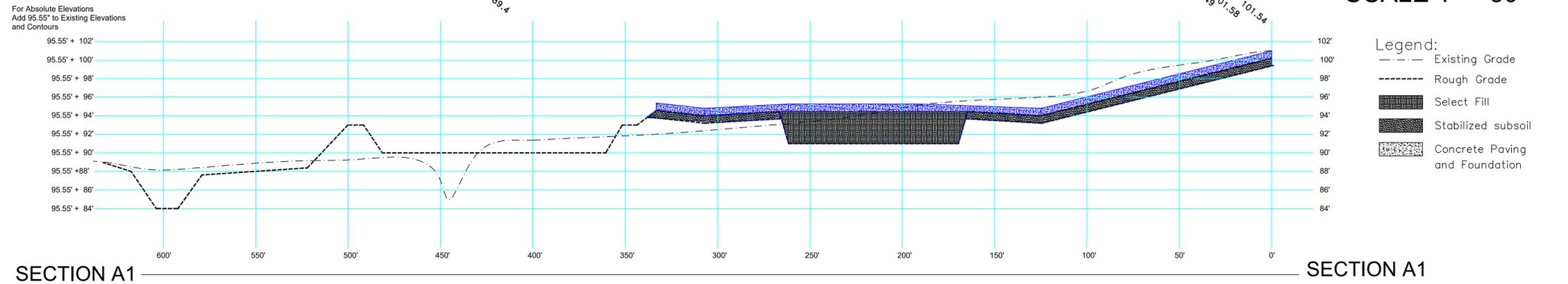
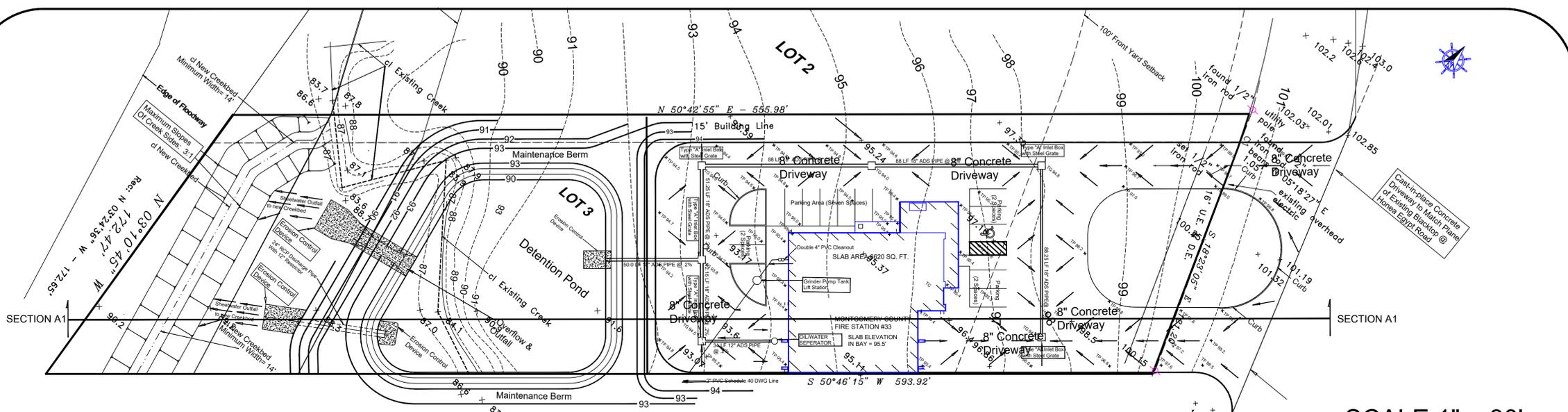
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

Jeff Long P.E.  
15 Brimstone Court  
The Woodlands, Texas

**SHEET 11**

**NO SCALE**



MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lot 3, Lot 4, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

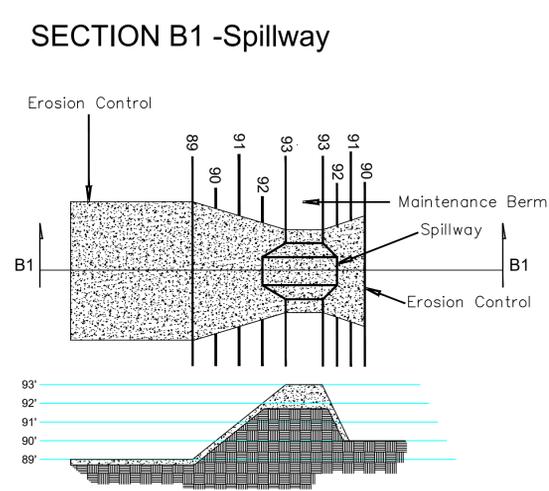
ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

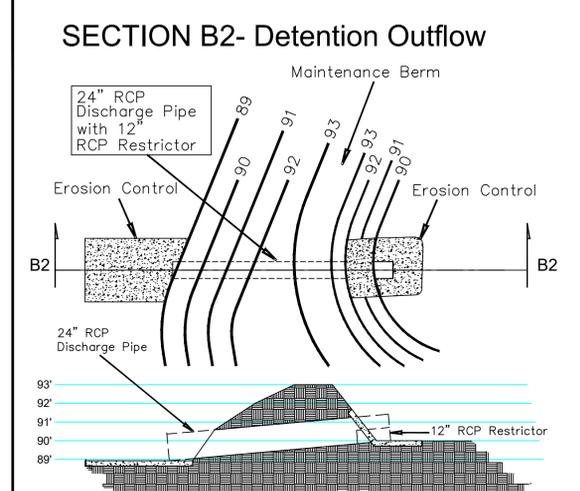
Cross-Section (Cut and Fill)  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

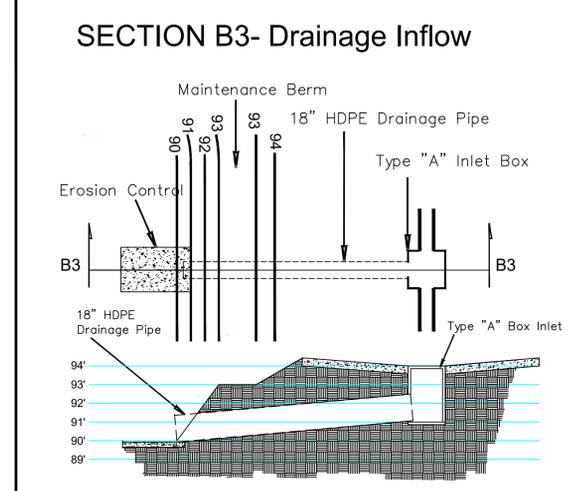
LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.



- Spillway Notes:**
- Maintenance Berm at 93 Ft. Relative Elevation and Minimum Width of 8 Feet.
  - Minimum of 1 Ft. Freeboard over Spillway (Relative elevation of Spillway = 92')
  - Concrete to Extend 2' past the Edge of the Spillway
  - Concrete Erosion Control on outfall side to Extend out towards Creek a minimum distance of 16'.



- Outflow Notes:**
- Maintenance Berm at 93 Ft. Relative Elevation and Minimum Width of 8 Feet.
  - Install concrete around restrictor at Outlet Pipe (Inside 24" RCP Outfall Pipe)
  - Concrete Rip-Rap to Extend 2' past the Edge of the Inlet Pipe in Detention Pond.
  - Concrete Erosion Control on Outfall side to Extend out a minimum distance of 16'.



- Drainage Inflow Notes:**
- Maintenance Berm at 93 Ft. Relative Elevation and Minimum Width of 8 Feet.
  - Install Inlet Box and HDPE Drainage Pipe in a bed of Stabilized Sand and Backfill trench with Stabilized Sand.
  - Concrete Rip-Rap to Extend 2' past the Edge of the Inlet Pipe in Detention Pond.
  - Concrete Erosion Control in Detention Pond Extend out a minimum distance of 16'.

**Cut and Fill Notes:**

- GENERAL**  
The site for the fire station is overlaid with approximately 6-8 feet of permeable silty sand. The foundation area and an area extending 5' beyond the perimeter of the building foundation shall be undercut to a depth of 3 feet. The elevation of the truck bay in the fire station is the controlling elevation. The contractor will ensure that the grade stakes for the fire station are protected during the cut and fill portion of the project.
- FIRE STATION FOUNDATION**  
The excavated area shall be replaced with compacted, low plasticity material placed in 6" to 8" lifts and compacted either by loaded truck or a vibratory compactor. Do not use a dozer for compacting the fill material. Fill shall be compacted to 95% Standard Proctor Density.
- CUT AND FILL FOR PROJECT**  
The materials from the excavated area shall be moved to the rear of the lot to raise the level of the subgrade in the fire lane at the rear of the station. The excavated material shall also be used to create the berms for the detention pond. Any excess material and all material containing topsoil shall be placed in the Airtreater area of the Septic System.
- SUBGRADE STABILIZATION FOR DRIVEWAYS**  
The subgrade of the entire concrete driveway area shall be stabilized with portland cement or a lime and fly-ash combination, to a depth of a minimum of 8 inches. The near surface clayed sandy soil below the future parking will require a 10% cement by dry weight ratio. The subgrade can also be stabilized with 2% lime and 8% fly-ash by dry weight. The prepared subgrade shall be protected from moisture until pavement materials are placed. Finished pavement subgrade areas shall be graded at all times to prevent ponding and infiltration of excessive moisture on or adjacent to the pavement subgrade surface.

LAND AND SEA ENT., INC.		ENGINEERING DETAILS	
DATE	DESCRIPTION	DATE	DESCRIPTION
24/02	CONSTRUCTION NOTES	24/02	CUT AND FILL
01/01		01/01	

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:  
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:  
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

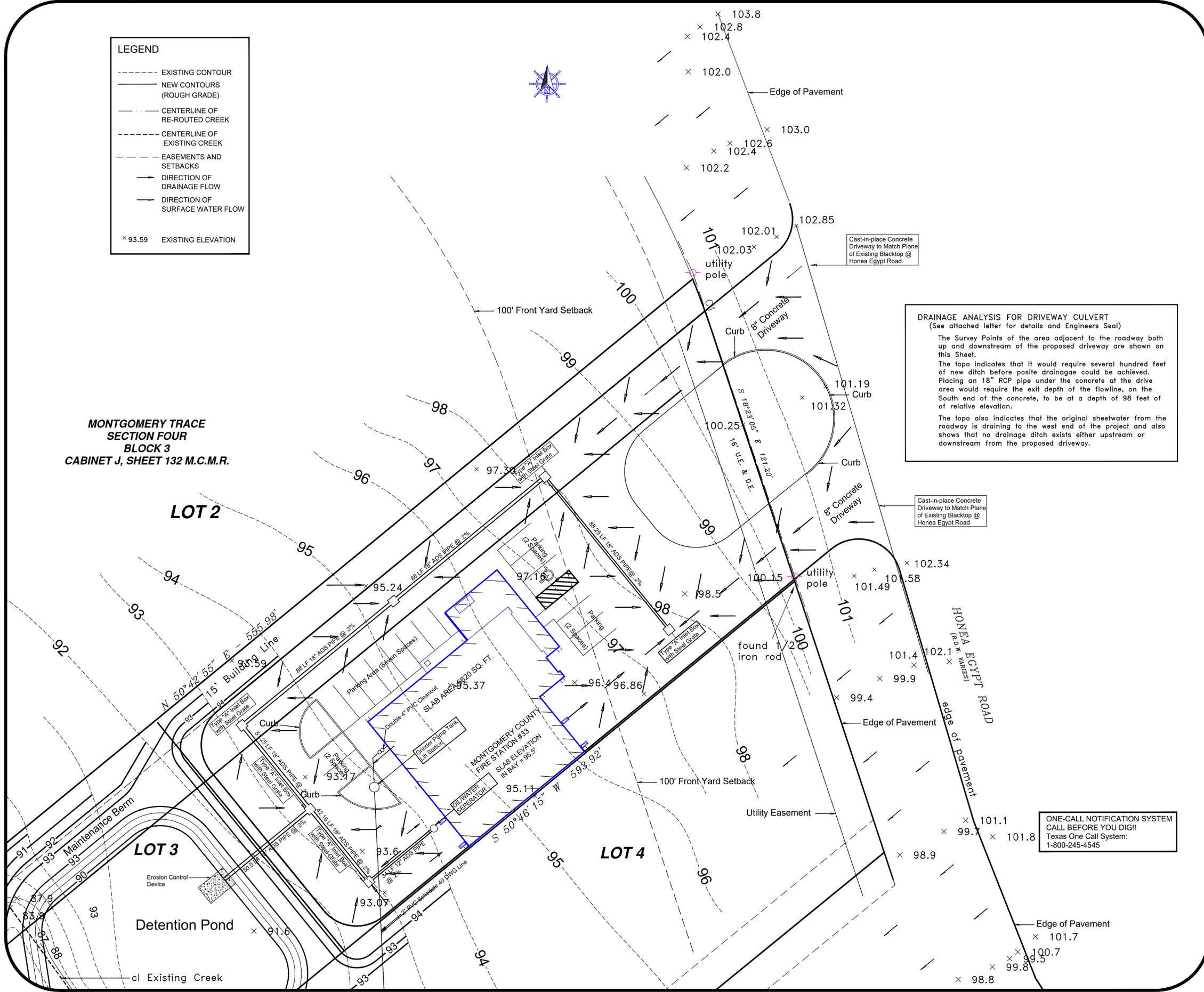
SHEET 12

NO SCALE

- LEGEND**
- EXISTING CONTOUR
  - NEW CONTOURS (ROUGH GRADE)
  - CENTERLINE OF RE-ROUTED CREEK
  - CENTERLINE OF EXISTING CREEK
  - EASEMENTS AND SETBACKS
  - DIRECTION OF DRAINAGE FLOW
  - DIRECTION OF SURFACE WATER FLOW
  - × 93.59 EXISTING ELEVATION



**MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.**



**DRAINAGE ANALYSIS FOR DRIVEWAY CULVERT**  
(See attached letter for details and Engineers Seal)

The Survey Points of the area adjacent to the roadway both up and downstream of the proposed driveway are shown on this Sheet.

The topo indicates that it would require several hundred feet of new ditch before positive drainage could be achieved. Placing an 18" RCP pipe under the concrete at the drive area would require the exit depth of the flowline, on the South end of the concrete, to be at a depth of 98 feet of relative elevation.

The topo also indicates that the original sheetwater from the roadway is draining to the west end of the project and also shows that no drainage ditch exists either upstream or downstream from the proposed driveway.

**ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!**  
Texas One Call System:  
1-800-245-4545

**MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lot 3, 4, and Lot 5 of Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

**4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**DRIVEWAY/CULVERT  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33**

**AREA OF CONCRETE**

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

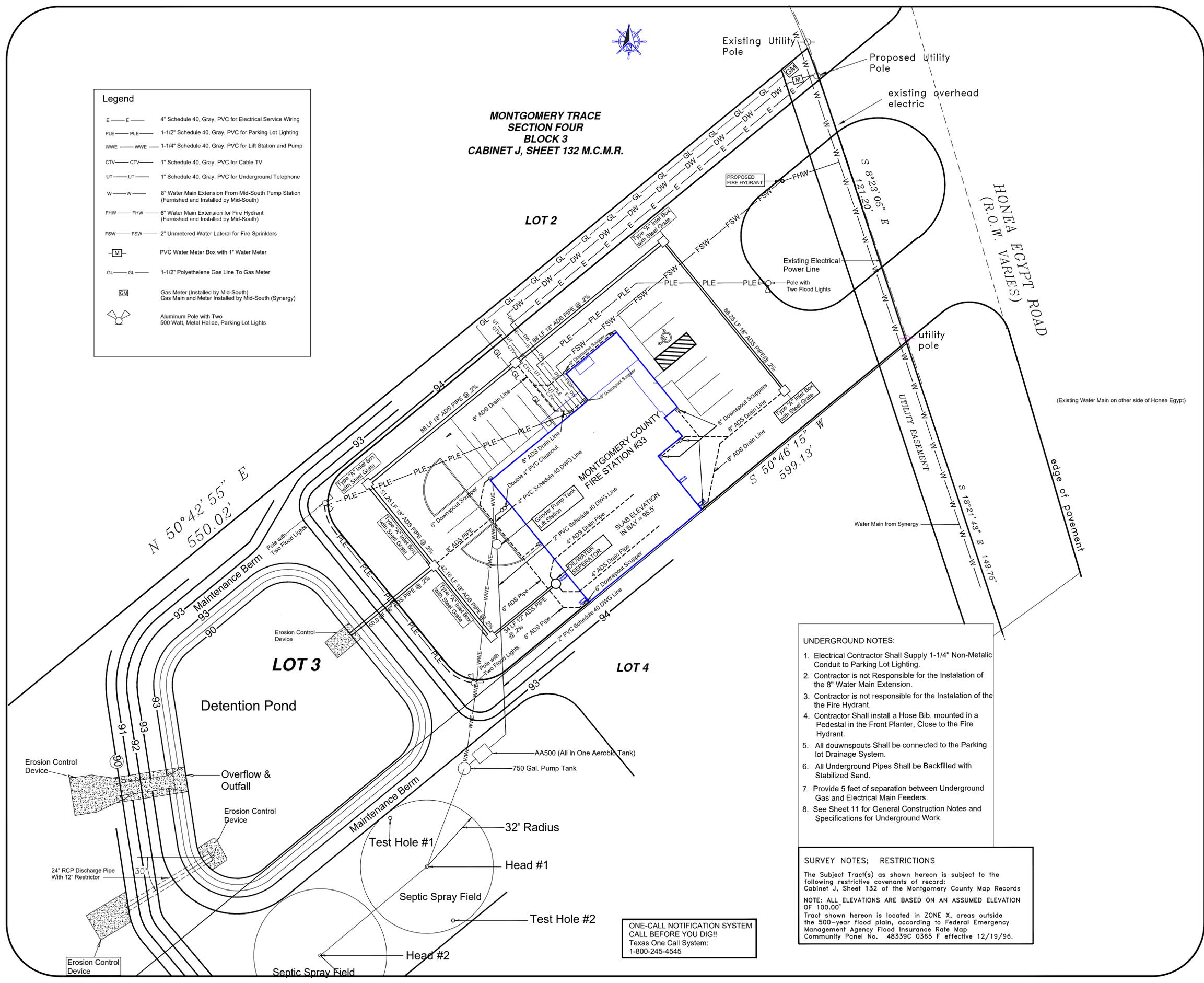
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

**SHEET 13**

**SCALE 1" = 20'**

**MONTGOMERY TRACE  
SECTION FOUR  
BLOCK 3  
CABINET J, SHEET 132 M.C.M.R.**

Legend	
E — E —	4" Schedule 40, Gray, PVC for Electrical Service Wiring
PLE — PLE —	1-1/2" Schedule 40, Gray, PVC for Parking Lot Lighting
WWE — WWE —	1-1/4" Schedule 40, Gray, PVC for Lift Station and Pump
CTV — CTV —	1" Schedule 40, Gray, PVC for Cable TV
UT — UT —	1" Schedule 40, Gray, PVC for Underground Telephone
W — W —	8" Water Main Extension From Mid-South Pump Station (Furnished and Installed by Mid-South)
FHW — FHW —	6" Water Main Extension for Fire Hydrant (Furnished and Installed by Mid-South)
FSW — FSW —	2" Unmetered Water Lateral for Fire Sprinklers
	PVC Water Meter Box with 1" Water Meter
GL — GL —	1-1/2" Polyethylene Gas Line To Gas Meter
	Gas Meter (Installed by Mid-South) Gas Main and Meter Installed by Mid-South (Synergy)
	Aluminum Pole with Two 500 Watt, Metal Halide, Parking Lot Lights



- UNDERGROUND NOTES:**
1. Electrical Contractor Shall Supply 1-1/4" Non-Metallic Conduit to Parking Lot Lighting.
  2. Contractor is not Responsible for the Installation of the 8" Water Main Extension.
  3. Contractor is not responsible for the Installation of the the Fire Hydrant.
  4. Contractor Shall install a Hose Bib, mounted in a Pedestal in the Front Planter, Close to the Fire Hydrant.
  5. All downspouts Shall be connected to the Parking lot Drainage System.
  6. All Underground Pipes Shall be Backfilled with Stabilized Sand.
  7. Provide 5 feet of separation between Underground Gas and Electrical Main Feeders.
  8. See Sheet 11 for General Construction Notes and Specifications for Underground Work.

**SURVEY NOTES; RESTRICTIONS**

The Subject Tract(s) as shown hereon is subject to the following restrictive covenants of record:  
Cabinet J, Sheet 132 of the Montgomery County Map Records

NOTE: ALL ELEVATIONS ARE BASED ON AN ASSUMED ELEVATION OF 100.00'

Tract shown hereon is located in ZONE X, areas outside the 500-year flood plain, according to Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 48339C 0365 F effective 12/19/96.

**ONE-CALL NOTIFICATION SYSTEM  
CALL BEFORE YOU DIG!!**  
Texas One Call System:  
1-800-245-4545

**MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lot 3, Lot 4, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

**UNDERGROUND  
FOR  
MOUNTGOMERY COUNTY  
FIRE STATION #33**

**AREA OF CONCRETE**

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

**SHEET 14**

**SCALE 1" = 20'**

MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lot 3, Lot 4, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

Underground Notes/Details  
FOR  
MOUNTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

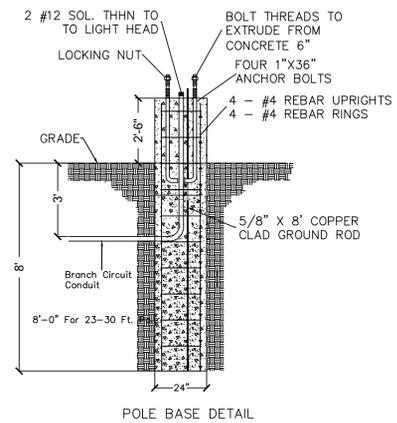
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

SHEET 15

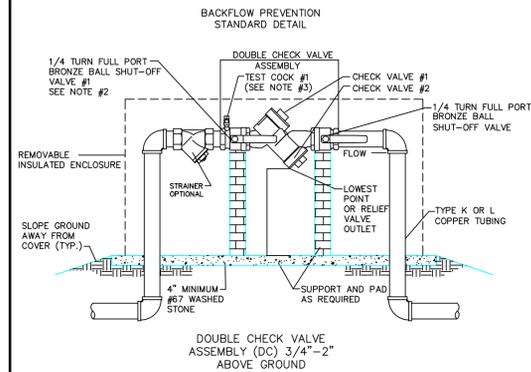
NO SCALE



GENERAL NOTES

1. PORTLAND CEMENT COMPLYING WITH ASTM C-1157, TYPE HS SHALL BE USED.
2. COVER OVER REINFORCING STEEL SHALL BE 2" UNLESS OTHERWISE SPECIFIED.
3. REINFORCING STEEL SHALL COMPLY WITH ASTM A-615, GRADE 60 OR ASTM A-185.
4. CONCRETE DESIGN STRENGTH: F'c=3,000 PSI.
5. STEEL YIELD STRENGTH: fy=40,000 PSI.

LAND AND SEA ENT., INC. ENGINEERING DETAILS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

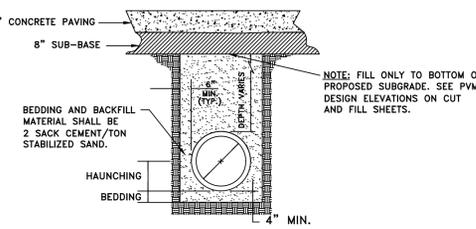


NOTES:

1. DOUBLE CHECK VALVE ASSEMBLIES (DC) MUST CONFORM TO SYNERGY (MID-SOUTH) SPECIFICATIONS.
2. SYNERGY APPROVED DC VALVE INCLUDES SHUT-OFF VALVES #1 AND #2 AS PART OF THE ASSEMBLY. NO SUBSTITUTIONS SHALL BE PERMITTED.
3. TEST COCK #1 SHALL BE UPSTREAM OF SHUT-OFF VALVE #1 AND IS PART OF THE APPROVED ASSEMBLY.
4. PIPE MATERIAL AND FITTINGS SHALL TYPE L OR K COPPER. SOLDER SHALL BE LEAD FREE.
5. INSULATE ENCLOSURE TO ENSURE PROTECTION FROM COLD WEATHER.
6. LOCATION FOR BACK FLOW PREVENTER SHALL BE VERIFIED WITH SYNERGY.
7. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR ANY OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS SYNERGY BACKFLOW PREVENTER.
8. EACH CWJ-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CWJ-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

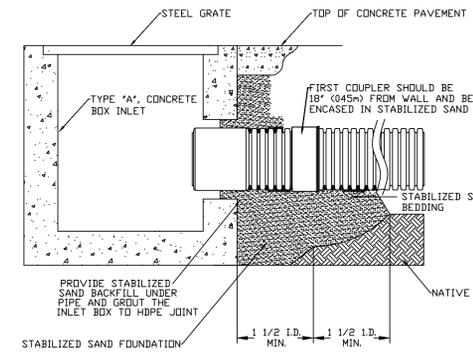
LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

DRIVEWAY/PARKING LOT  
TRENCH AND BEDDING DETAIL



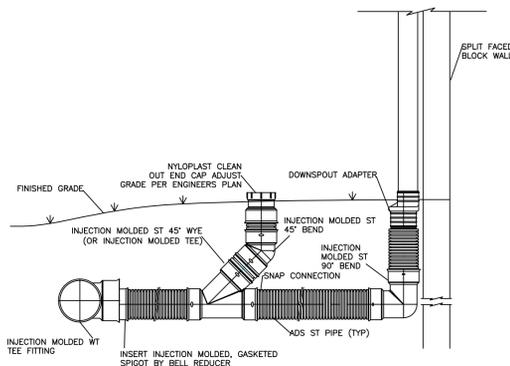
LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

TYPE "A" DRAIN BOX/ HDPE CONNECTION



LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

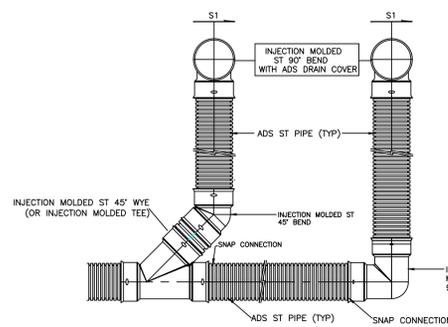
ROOF DRAIN DETAIL WITH CLEANOUT



- NOTE:
1. HDPE REFERS TO HIGH DENSITY POLYETHYLENE PIPE (USE ADS (ADVANCED DRAINAGE SYSTEM) HDPE OR EQUIVALENT)
  2. INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.
  3. WT INJECTION MOLDED FITTINGS AND WT PIPE CAN BE SUBSTITUTED FOR WATER TIGHT APPLICATIONS

LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

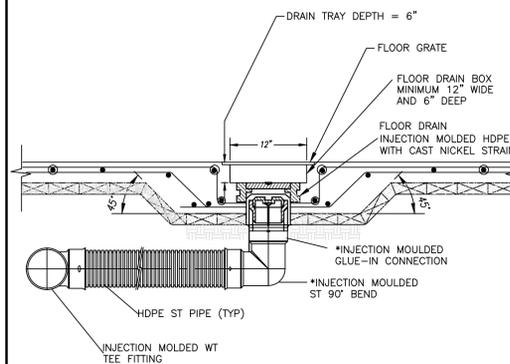
FLOOR DRAIN LAYOUT



- NOTE:
1. HDPE REFERS TO HIGH DENSITY POLYETHYLENE PIPE (USE ADS (ADVANCED DRAINAGE SYSTEM) HDPE OR EQUIVALENT)
  2. INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.
  3. WT INJECTION MOLDED FITTINGS AND WT PIPE CAN BE SUBSTITUTED FOR WATER TIGHT APPLICATIONS

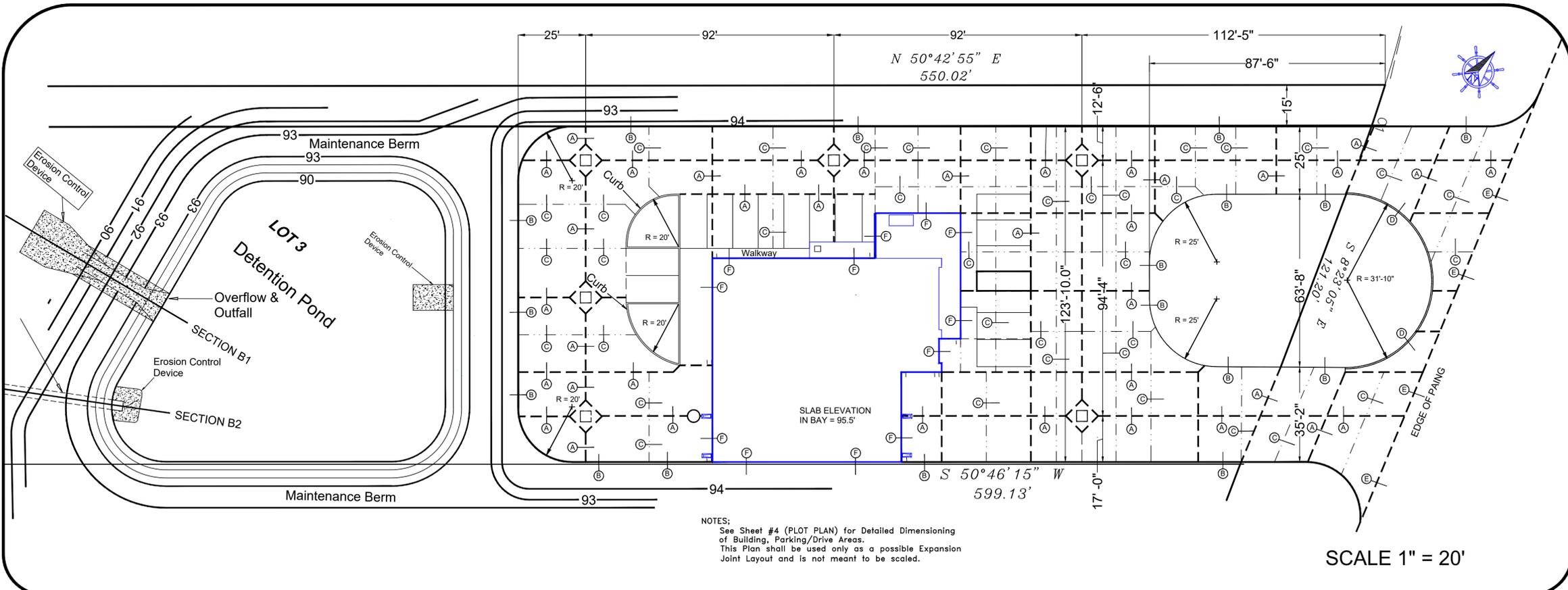
LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE

FLOOR DRAIN CROSS SECTION AND DETAIL



- NOTE:
1. HDPE REFERS TO HIGH DENSITY POLYETHYLENE PIPE (USE ADS (ADVANCED DRAINAGE SYSTEM) HDPE OR EQUIVALENT)
  2. INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.
  3. WT INJECTION MOLDED FITTINGS AND WT PIPE CAN BE SUBSTITUTED FOR WATER TIGHT APPLICATIONS

LAND AND SEA ENT., INC. STANDARD DRAWINGS					
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	DATE
				DESIGNED BY	DATE
				CHECKED BY	DATE
				APPROVED BY	DATE



NOTES:  
See Sheet #4 (PLOT PLAN) for Detailed Dimensioning of Building, Parking/Drive Areas.  
This Plan shall be used only as a possible Expansion Joint Layout and is not meant to be scaled.

SCALE 1" = 20'

MONTGOMERY COUNTY  
FIRE DEPARTMENT  
PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lot 3, Lot 4, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS

4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

CONCRETE PAVING  
FOR  
MONTGOMERY COUNTY  
FIRE STATION #33

AREA OF CONCRETE

LIVING----- 6620 Sq. Ft.  
DRIVE/PARKING--31,927 Sq. Ft.  
TOTAL AREA-----38,547 Sq. Ft.

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

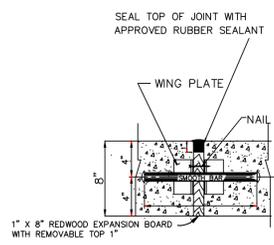
SHEET 16

NO SCALE

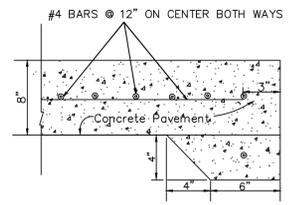
Pavement Notes:

- Materials and Construction for on-site Concrete Paving shall conform to the City of Conroe, Standard Drawings and Specifications.
- Refer to the site geotechnical specifications for a detailed analysis of the requirements for the subsoil treatment before beginning to install the reinforcement. After the rough grade has been completed the Contractor shall mix the top 8" of sandy material with 3 sacks of portland cement for every cubic yard of subsoil. After the subsoil has been thoroughly mixed, the Contractor shall compact the base course to at least 95% of Maximum Standard Proctor Dry Density at moisture content within 25% of optimum. The compaction of the Stabilized subsoil shall be completed within 4-8 hours after mixing.
- Concrete pavement to have a minimum thickness of 8" (Eight Inches).
- Concrete pavement to have a 28 day compressive strength of 4500 psi. Concrete for pavement shall have a minimum of 6 sacks of portland for every cubic yard of concrete.
- No traffic shall be allowed on the pavement until the concrete has acquired 75% of its design strength. The contractor is responsible to keep the traffic from the newly constructed parking and drive areas until the curing process is completed as specified.
- Reinforcing steel to be deformed bars per ASTM A-615, Grade 40, as per details. The minimum rebar grid in the field of the concrete shall be 12" O.C. both ways.
- Detailing and fabrication of reinforcement shall be in accordance with ACI-319 Latest Edition.
- Expansion joint shall be made out of Redwood with the top 1" able to be removed. The top of the Redwood expansion joint shall be removed after the concrete has hardened and the cavity shall be filled with an approved Rubber Sealant.
- All joints shall extend through the curbs. All paving surrounded by control joints shall be in the ratio of 1 to 1, or as close as possible.
- Control joints, sawcuts should not change direction, except at an expansion joint. Sawcuts should be cut within 48 hours of concrete placement.
- Expansion joint and sawcut layout shown on this drawing are suggestive of the design required to keep the stresses in the concrete at a minimum. Expansion joint layout provided by the Contractor shall be submitted for review by the Project Manager and shall consist of the following items:
  - Expansion joints to terminate perpendicular to pavement edges.
  - Maximum spacing for expansion joints shall be 30'.
  - Sawed joints to be used for control joints shall have a maximum spacing of 15'.
- No joint of any type shall be within 12 inches from any inlet box. Expansion joints shall be placed at the inlet boxes as shown on the drawing. Nominal dimension of the expansion joint box shall be 8'.
- Redwood expansion joint shall be placed between the building and the concrete. Top of the redwood expansion joint shall be removed and the gap shall be filled with rubber sealant.
- Slope the concrete uniformly so that the drain boxes can properly drain the parking lot and driveways. Verify with project Manager all height of drain boxes to provide adequate drainage.

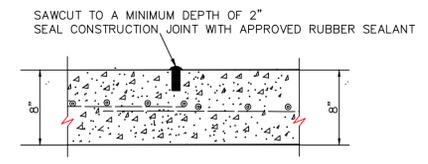
REV.				LAND AND SEA ENT., INC. ENGINEERING DETAILS			
NO.	DATE	DESCRIPTION	APP.	NO.	DATE	DESCRIPTION	APP.



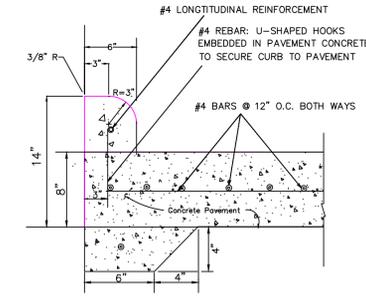
SECTION A  
DOWEL TYPE EXPANSION JOINT



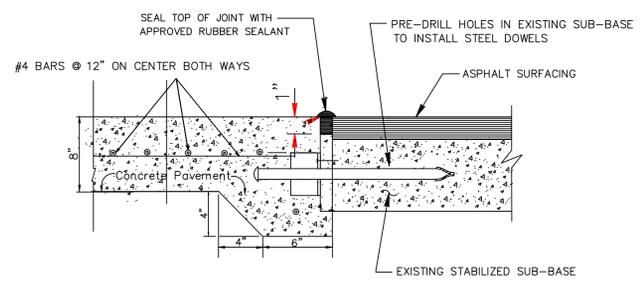
SECTION B  
PAVEMENT HEADER (EDGE OF CONCRETE)



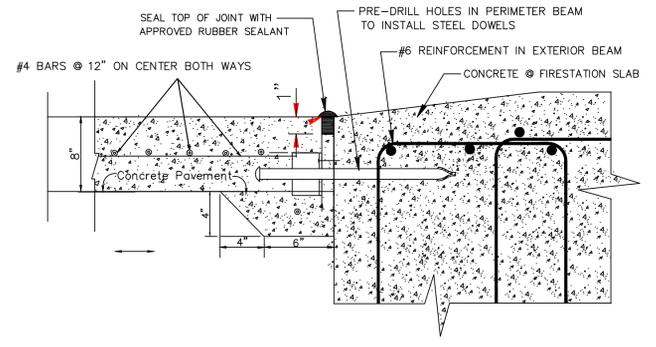
SECTION C  
CONSTRUCTION JOINT AND SEAL



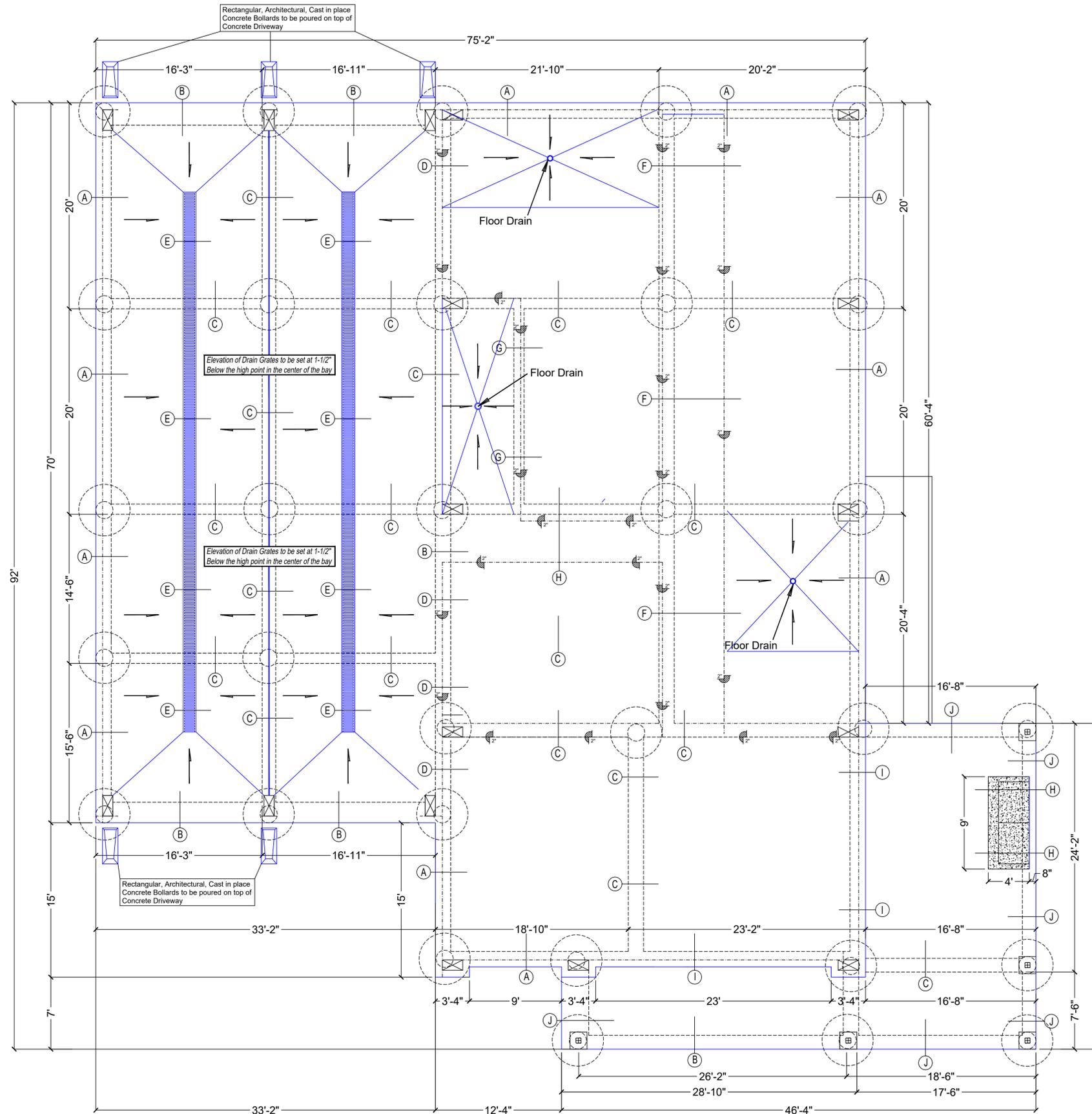
SECTION D  
CURB @ PAVEMENT HEADER (EDGE OF CONCRETE)



SECTION E  
PAVEMENT HEADER (EDGE OF CONCRETE) @ ROADWAY



SECTION F  
PAVEMENT HEADER (EDGE OF CONCRETE FOUNDATION)



**FOUNDATION SLAB NOTES**

1. THIS DRAWING IS STRICTLY DRAWN TO SHOW STRUCTURAL DETAILS OF THE SLAB SURFACE AND LAYOUT. SEE THE FLOOR PLAN (SHEET 12) TO VERIFY ALL SLAB EDGE DIMENSIONS, BRICK LEDGES, DROPS AND SLOPE LOCATIONS AND ALL OTHER CHANGES IN THE SLAB SURFACE OR LAYOUT PRIOR TO CONSTRUCTION.
2. FOR THE LOCATION OF HOLD/DOWN BOLTS TO BE EMBEDDED IN FOUNDATION FOR THE STEEL BUILDING, SEE THE ENGINEERING DRAWINGS PROVIDED BY STEEL BUILDING SUPPLIER PRIOR TO POURING CONCRETE.
3. THE BOTTOM OF ALL BEAMS SHALL BE A MINIMUM OF 12-INCHES BELOW FINISHED GRADE UNLESS OTHERWISE NOTED IN THE BEAM SCHEDULE SHOWN ON THIS SHEET.
4. THE DEPTH OF THE BEAMS SHOWN IN THE "BEAM SCHEDULE" ON THIS DRAWING IS A MINIMUM DEPTH; IF THE BEAMS BECOME DEEPER SEE THE DETAILS ON SHEET 10 FOR THE ADDITIONAL REINFORCING, IF REQUIRED.

**SITE PREPARATION**

1. REMOVE ALL TREES AND ORGANIC MATERIALS IN THE AREA OR ADJACENT TO THE AREA IN WHICH THE FOUNDATION SHALL BE PLACED.
2. REMOVE A MINIMUM OF 36" OF THE NATURAL SOIL FROM THE AREA IN WHICH THE FOUNDATION IS TO BE LOCATED. EXTEND THIS REMOVAL TO A DISTANCE OF 5' BEYOND THE FOUNDATION.
3. PROOF ROLL THE ENTIRE EXCAVATED AREA PRIOR TO PLACING THE FILL DIRT. DURING THE INITIAL IF SOME LOCALIZED SOIL PROBLEMS ARE DISCOVERED REMOVE THE EXISTING SOIL IN THOSE AND PLACE SELECT FILL IN THE HOLES AND COMPACT AS STATED BELOW.
4. DO NOT PLACE THE FOUNDATION SLAB ON WET OR SATURATED SOILS. IF WET CONDITIONS PERSIST THE WET AREA SHALL BE TREATED WITH A 3% LIME AND 8% FLY ASH MIX AND RECOMPACTED BEFORE PLACING ANY FURTHER FILL ON THIS LOCATION.
5. PLACE A MIN. OF 36" OF NEW SELECT FILL (SELECT FILL HAVING A P.I. BETWEEN 12 AND 20) IN 6" LIFTS AND COMPACT TO 95% OF THE MAXIMUM DRY DENSITY TO REQUIRED ELEVATION TO RECEIVE FOUNDATION SLAB.
6. SEE SOIL REPORT FOR ADDITIONAL SITE INFORMATION.
7. POSITIVE DRAINAGE SHALL BE PROVIDED ON ALL SIDES OF THE FOUNDATION SLAB. SHOULD THE FOUNDATION SLAB BE HIGHER THAN ANY OTHER POINT IN THE LOT NO ADDITIONAL WORK IS REQUIRED. HOWEVER, IF ANY POINT ON THE FOUNDATION SLAB IS LOWER THAN THE ADJACENT LOT, A SWALE SHALL BE CREATED NO LESS THAN 5- FEET FROM THE FOUNDATION SLAB TO DIRECT THE FLOW OF WATER AWAY AND OR AROUND THE FOUNDATION SLAB.
9. IF DURING CONSTRUCTION, IT IS DISCOVERED THAT THERE IS A DISCREPANCY BETWEEN THIS FOUNDATION PLAN AND THE STRUCTURAL DRAWING PROVIDED BY THE STEEL BUILDING FABRICATOR, NOTIFY THE PROJECT MANAGER IMMEDIATELY.
10. THE DESIGN OF THE FOUNDATION SHOWN ON THIS DRAWING IS BASED ON ESTIMATED LOADS FROM THE STRUCTURAL FRAMING TO BE PROVIDED BY A FUTURE CONTRACTOR. FOUNDATION DESIGN MAY HAVE TO BE MODIFIED BECAUSE OF SUBSTANTIAL INCREASES IN LOADING. ALL LOADS ARE ESTIMATED FROM DATA PROVIDED BY TOWN AND COUNTRY METAL BUILDINGS.

**REINFORCING NOTES:**

1. SEE SHEET 10 FOR DETAILS, NOTES, AND SPECIFICATIONS FOR THIS FOUNDATION SLAB.
2. SEE THE "BEAM SCHEDULE" ON THIS SHEET FOR THE BEAM DIMENSIONS "W" AND "D".

SLAB SCHEDULE		
GARAGE AREA		
THICKNESS "T"	REINFORCING	
	SIZE	SPACING
8"	#4	12"
OFFICE/LIVING AREA		
THICKNESS "T"	REINFORCING	
	SIZE	SPACING
6"	#4	16"

- NOTES:  
 1 - REINFORCING SHALL BE PLACED AT MID-DEPTH OF SLAB.  
 2 - SEE FOUNDATION PLAN FOR OTHER REINFORCING IN SLAB.

MONTGOMERY COUNTY  
Emergency Services District #3

PROPOSED PROJECT  
ON  
HONEA EGYPT

LEGAL DESCRIPTION

Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

ADDRESS  
4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

FOUNDATION PLAN  
FOR FIRE STATION #33  
ON HONEA EGYPT ROAD

OWNER  
MONTGOMERY COUNTY  
Emergency Services District #3

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

Project Design  
Project Engineering  
Project Management

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

Plans Drawn by:

Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

Plans Reviewed by:

Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

SHEET 17

SCALE 3/16" = 1'

**MONTGOMERY COUNTY  
Emergency Services District #3**

**PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS  
4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**FOUNDATION DETAILS  
FOR FIRE STATION #33  
ON HONEA EGYPT ROAD**

**OWNER  
MONTGOMERY COUNTY  
Emergency Services District #3**

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

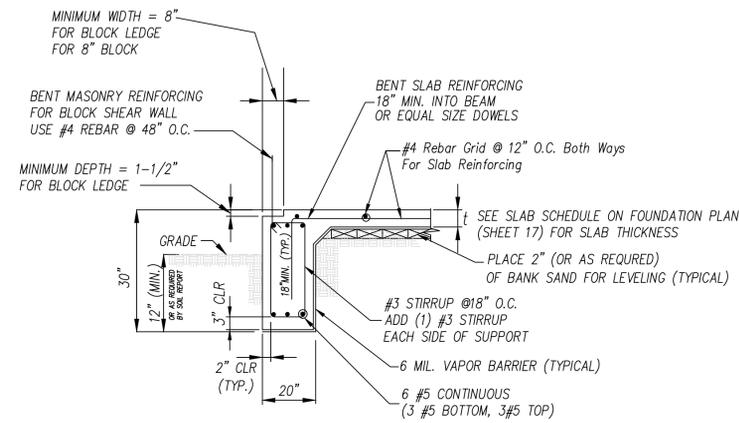
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

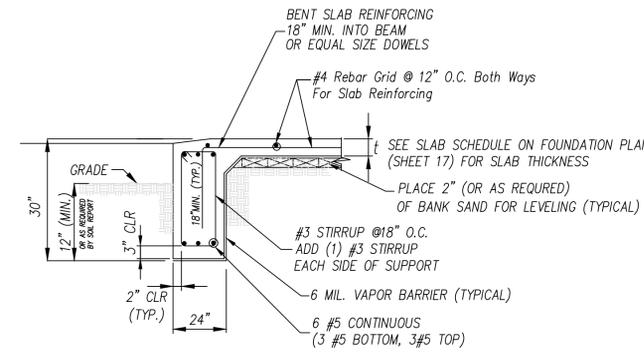
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

**SHEET 18**

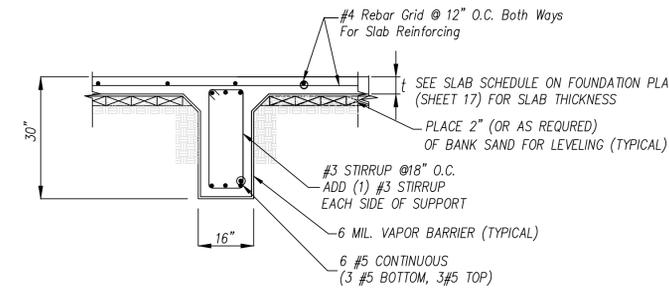
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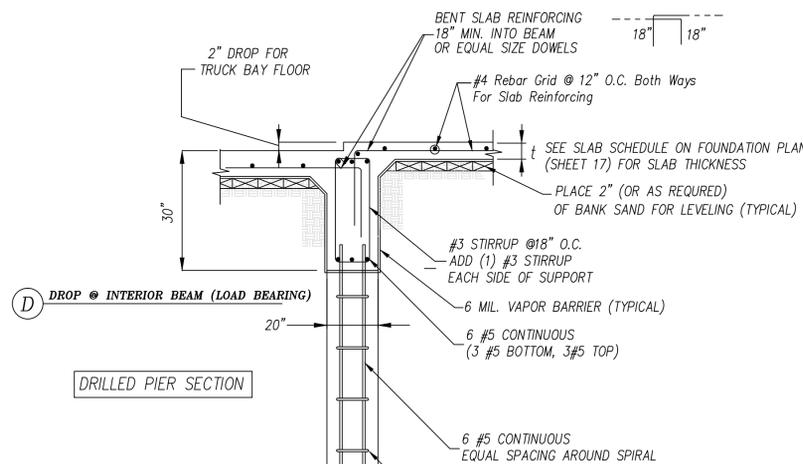
**A** EXTERIOR BEAM W/LEDGE FOR BLOCK



**B** EXTERIOR BEAM AT GARAGE ENTRANCE



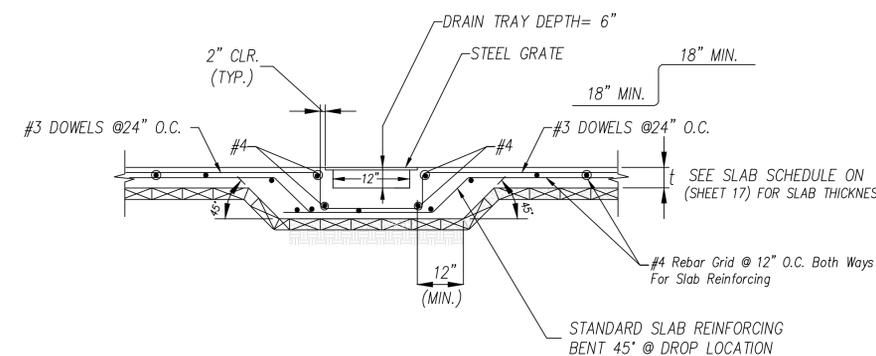
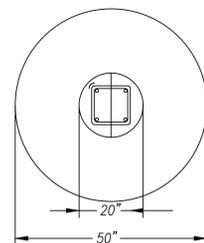
**C** INTERIOR BEAM



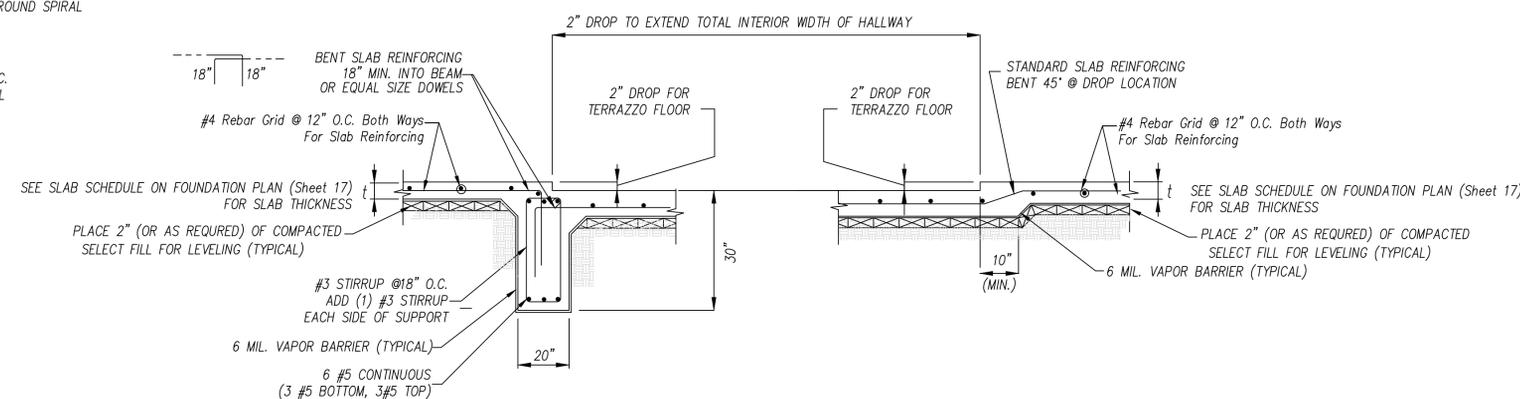
**D** DROP @ INTERIOR BEAM (LOAD BEARING)

DRILLED PIER SECTION

DRILLED PIER SECTION



**E** CROSS-SECTION OF GRATED DRAIN



**F** CROSS-SECTION/TERRAZZO HALLWAY

**MONTGOMERY COUNTY  
Emergency Services District #3**

**PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.

**ADDRESS  
4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356**

**FOUNDATION DETAILS  
FOR FIRE STATION #33  
ON HONEA EGYPT ROAD**

**OWNER  
MONTGOMERY COUNTY  
Emergency Services District #3**

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**

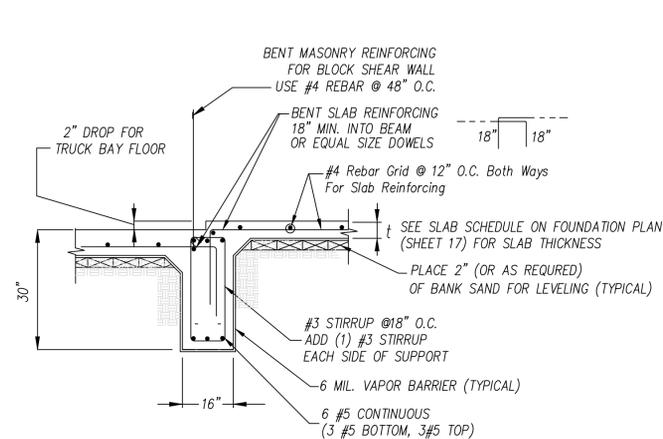
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**

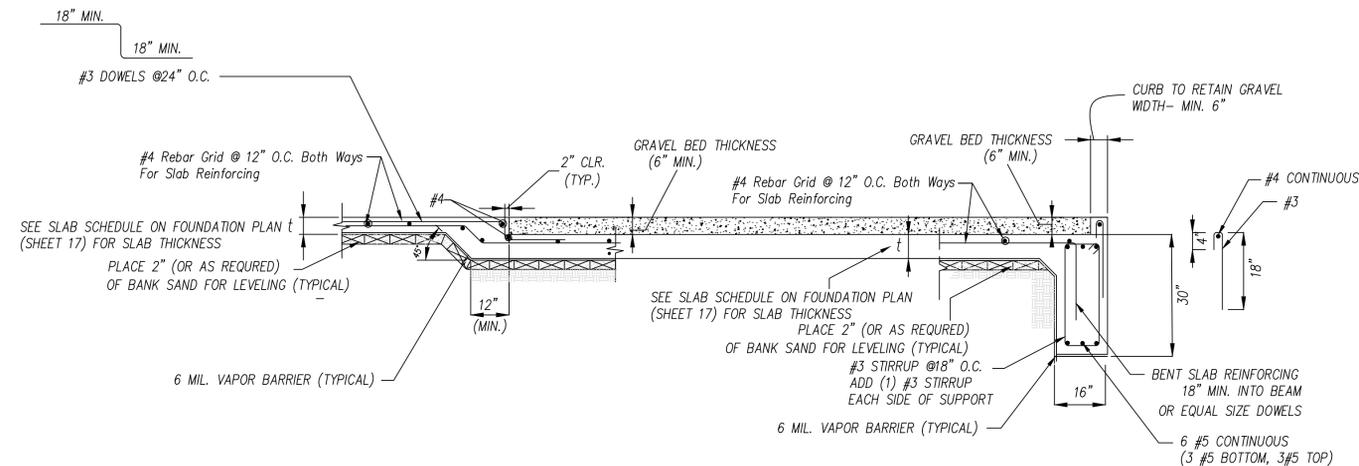
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

SHEET 19

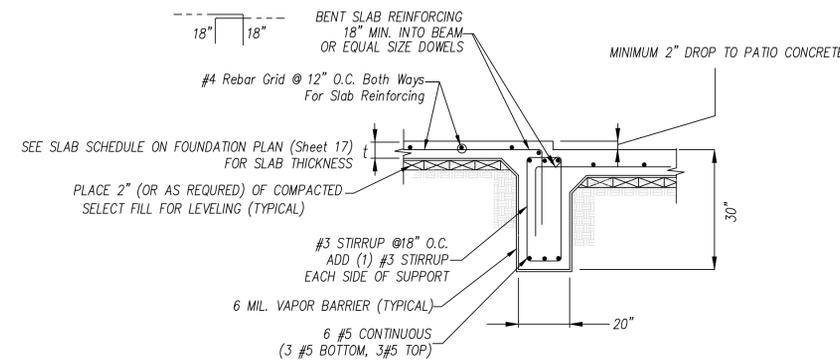
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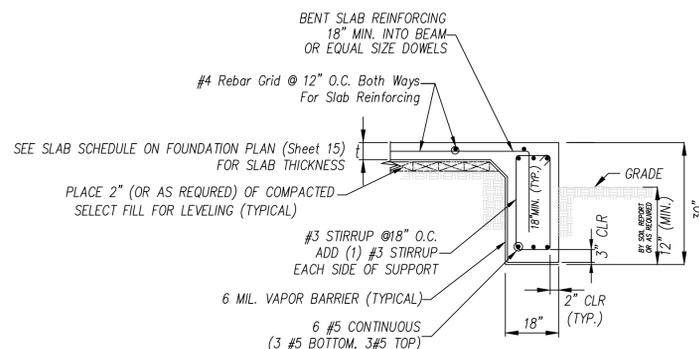
**G DROP @ INTERIOR BEAM (NON LOAD BEARING)**



**H CURB @ BARBECUE PIT AT EXTERIOR BEAM**



**I DROP @ EXTERIOR BEAM TO COVERED PATIO**



**J EXTERIOR BEAM WITHOUT BRICK LEDGE**

**GENERAL NOTES**

**FOUNDATION**

1. THE FOUNDATION SPECIFICATIONS SHALL APPLY TO THE STRUCTURAL FOUNDATION FOR THIS PROJECT, UNLESS NOTED OR SHOWN OTHERWISE.
2. ALL MATERIALS USED AND THE WORKMANSHIP APPLIED SHALL CONFORM TO THE STANDARDS SET FORTH IN THE INTERNATIONAL BUILDING CODE - 2000 EDITION.
3. ALL FOUNDATIONS SHALL BE PLACED ON PROOF ROLLED NATURAL SOIL OR PLACED ON COMPACTED SELECT FILL. ALL EXCAVATIONS SHALL BE FREE OF ANY LOOSE SOIL OR WATER.
4. OVER EXCAVATIONS SHALL BE FILLED WITH COMPACTED SELECT FILL OR CONCRETE.
5. ALL BACKFILL PLACED AROUND THE FOUNDATION BEAMS OR FILL UNDER THE FOUNDATION SLAB SHALL BE COMPACTED SELECT FILL.
6. WATERPROOFING OF THE FOUNDATION IS NOT PART OF THE SPECIFICATIONS OF THE RESPONSIBILITY OF THIS FIRM.
7. THE AREA OF THE FOUNDATION SHALL BE COVERED WITH 6-MIL PLOYETHYLENE BEFORE THE PLACEMENT OF ANY REINFORCING; LAP AND TAPE ALL EDGES.
8. ALL TRADES WHICH WILL HAVE ITEMS PLACED UNDER THE FOUNDATION SLAB SHALL CONFORM TO THE FOLLOWING:
  - A. ALL ITEMS PASS THRU A BEAM AT MID-DEPTH ONLY. USE A PIPE SLEEVE FOR PENETRATIONS NO CLOSER THAN 3 DIAMETERS.
  - B. NO ITEM SHALL BE PLACED IN THE SLAB OTHER THAN STRUCTUAL ITEMS CALLED FOR IN THESE STRUCTURAL PLANS, DETAILS, OR SECTIONS.

**SELECT FILL**

THE SELECT FILL (P.I. = 8 TO 20, LIQUID LIMIT = 35 OR LESS, 3-INCH MAXIMUM PARTICLE SIZE, AND FREE OF ALL FORMS OF DEBRIS) SHALL BE PLACED IN 8-INCH LOOSE LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR DENSITY TEST (ASTM D-698). THE FINISH AREA OF THE COMPACTED SELECT FILL SHALL EXTEND A MINIMUM OF 5- FEET FROM THE FOUNDATION OUTLINE AND SHALL HAVE A SLOPE OF NOT MORE THAN 3:1. A MATERIAL TESTING FIRM SHALL BE EMPLOYED TO DETERMINE THE AMOUNT OF COMPACTION OF EACH LIFT.

**REINFORCED CONCRETE**

1. REINFORCED CONCRETE SHALL CONFORM TO THE STANDARDS OF THE AMERICAN CONCRETE INSTITUTE ACI-318.
2. ALL CONCRETE PLACED IN THE FOUNDATION BEAMS, FOOTINGS, AND SLAB SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
3. THE SLUMP SHALL NOT EXCEED 5-INCHES.
4. THE CONCRETE SUPPLIER SHALL SUBMIT A CONCRETE MIX DESIGN BEFORE THE POUR BEGINS.
5. NO WATER SHALL BE ADDED TO THE CONCRETE MIX AT THE PROJECT SITE UNLESS THE BATCH PLANT INDICATES THE AMOUNT ON THE TRIP TICKET. ONLY TRUCKS WITH OPERATING WATER GAUGES SHALL BE ALLOWED TO ADD WATER TO THEIR MIX.

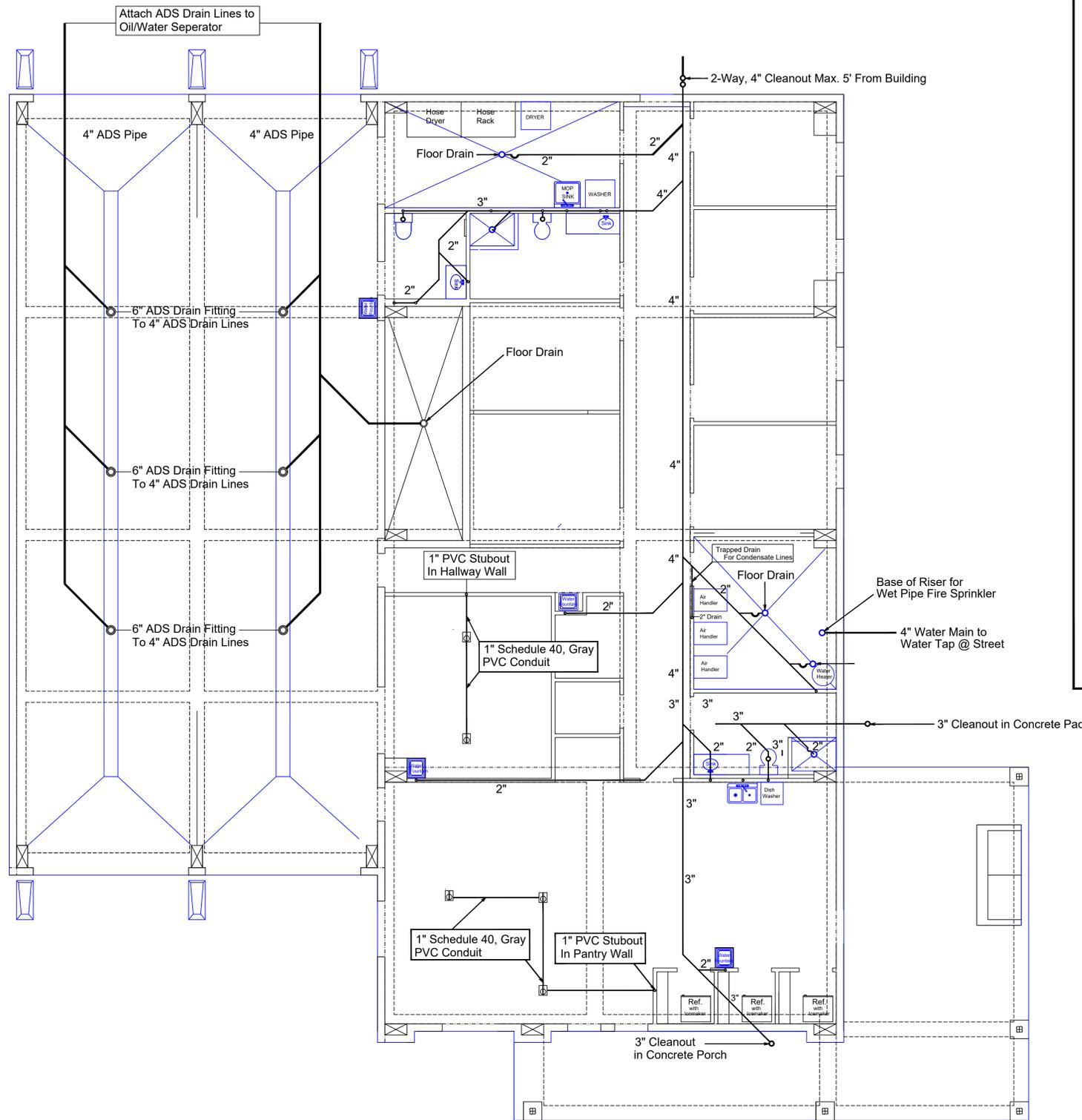
**REINFORCING STEEL**

1. ALL CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60; EXCEPT #3 BARS SHALL BE ASTM A-615, GRADE 40.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE FOUNDATION PLAN FOR THIS PROJECT. THE BARS SHALL BE SECURED IN PLACE BEFORE AND DURING THE PLACEMENT OF THE CONCRETE.
3. FABRICATION AND INSTALLATION OF THE REINFORCING SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE MANUAL OF STANDARD PRACTICE.
4. REINFORCING BAR LAP SPLICES ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 

BAR SIZE	SPLICE LENGTH
#3	2'-0"
#4	2'-6"
#5	3'-0"

  - A) SLICE TOP BARS AT MID-SPAN
  - B) SLICE BOTTOM BARS OVER SUPPORT
5. PROVIDE THE MINIMUM CONCRETE COVER OVER THE REINFORCING STEEL AS FOLLOWS:
 

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....	3"
CONCRETE EXPOSED TO WEATHER.....	1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR NOT IN CONTACT WITH EARTH.....	3/4"



**Underground Plumbing Notes:**

1. Local and State codes shall be adhered to on all portions of the underground plumbing.
2. Plumbing Contractor shall contact Project Manager and meet at the site to discuss excavation procedures, prior to the start of any excavation for the underground.
3. Plumbing drawings are schematics and shall not be scaled. Plumbing Contractor shall install all underground piping using the dimension on the floor plan. In case of conflicts the Plumbing Contractor shall contact the Project Manager.
4. AS-BUILT, scaled or dimensioned drawings of the underground shall be provided to the Project Manager to include in the final Submittal to the Fire District.
5. Before beginning any of the work Plumbing Contractor shall verify availability, location, size and invert elevation for sewer, water and gas. Contact the project Manager if there are any discrepancies.
6. Install all underground piping to avoid interference with the rebar to be installed in the beams. All underground waste lines are meant to run perpendicular or parallel to the reinforced concrete beams.
7. EXCAVATE for all underground plumbing work using the smallest bucket possible. All backfill in the bay area shall be done with stabilized sand. (Use 2 sacks of portland for every Ton of Sand) The residential part of the structure shall be backfilled and compacted to 95% of Proctor Density, in maximum lifts of 6" at optimum water content.
8. Soil and waste piping shall be code approved Schedule 40, PVC. Provide cleanouts as indicated on the drawing. Cleanouts, as indicated represent a minimum requirement. Slope main drain lines at 1/4" per foot.
9. Drainage Pipes for Truck Bay area drain and for roof drains shall be HDPE (High Density Polyethylene) manufactured by ADS (Advanced Drainage Systems) or equivalent. Installation shall be in accordance with ASTM D2321 and ADS published Installation guidelines. All ADS pipes in the garage and driveway areas shall be backfilled with a minimum of one foot of cover with Stabilized Sand.
10. Drainage System for Truck Bay area shall be installed with ADS compatible and approved fittings and shall provide a water-resistant flowpath to the Oil-Water Separator. To ensure drain system is watertight under the garage area, field verification shall be in accordance to guidelines set forth in ASTM F2487. Appropriate safety measures shall be used when field testing the Piping System.
11. During the progress of the work the Plumbing Contractor shall maintain an accurate record of the layout of the underground which he has installed.
12. Plumbing Contractor is responsible for pressure tests on the underground prior to burial. All underground pipes are to be tested to a pressure equal to 150% of working pressure.

LAND AND SEA ENT., INC.					
SPECIFICATIONS			DATE		
REV.	DATE	DESCRIPTION	APP.	DESIGNED BY	1/15/17
					1

**Underground Electrical Notes:**

1. Local and State codes shall be adhered to on all portions of the underground electrical work.
2. Electrical Contractor shall contact Project Manager and obtain a Scaled Drawing showing the dimensioned locations of the floor boxes. Use Wiremold 882C Round PVC Floorbox or equal.
3. Electrical Contractor shall install conduit after the rebar has been installed and tied off. The conduit shall be installed over the six mil vapor barrier and under the rebar mat.

**Underground Fire Sprinkler Notes:**

1. Local and State codes shall be adhered to on all portions of the installation of the Fire Sprinkler System.
2. Contractor shall contact Project Manager and obtain approval for the location of the Base Flange in the Mechanical Room. Base Flange and pipe shall not be located in the exterior beam.

MONTGOMERY COUNTY  
Emergency Services District #3  
**PROPOSED PROJECT  
ON  
HONEA EGYPT**

**LEGAL DESCRIPTION**

*Lot 3, Block 3 of Montgomery Trace, Section Four (4), a subdivision situated in Thomas Curry Survey, A-136 in Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet J, Sheet 132 of the Map Records of Montgomery County, Texas.*

**ADDRESS**  
4731 HONEA EGYPT  
MONTGOMERY, TEXAS  
77356

**Foundation Piping Layout  
Plumbing/ Electrical**  
  
**FOR FIRE STATION #33  
ON HONEA EGYPT ROAD**

**OWNER**  
MONTGOMERY COUNTY  
Emergency Services District #3

15663 Hwy 105 West  
MONTGOMERY, TEXAS  
77356  
PH. 936-588-2222

**Project Design  
Project Engineering  
Project Management**

ASCENTRUST, LLC.  
16920 KUYKENDAHL  
SUITE 200  
HOUSTON, TX. 77068  
PH. 936-827-9944

**Plans Drawn by:**  
Joseph C. Fournier  
B.Sc.E.E., M.Sc.E.E.  
PH. 936-827-9944

**Plans Reviewed by:**  
Jeff Long P.E.  
15 Brimstone Court  
Woodlands, Texas

**SHEET 20**

**SCALE 3/16" = 1'**